

# **Nordegg Development Plan - Design Guidelines**

## Vision Statement

Nordegg strives to be a unique family friendly, four-season community which maintains consistency with its historic legacy and natural mountainous setting, while being served by affordable services and facilities and sustained by an economic base fitting the community's location and roots.

## Rationale for Guidelines

- to provide planning and design criteria to achieve and maintain a desired visual theme for the community
- to encourage high quality design consistent with the vision for the community;
- to provide consistent guidance to developers
- to provide consistent guidance to development review and approval authorities
- to assist the Municipality in developing the initial phases of development within the Town Site

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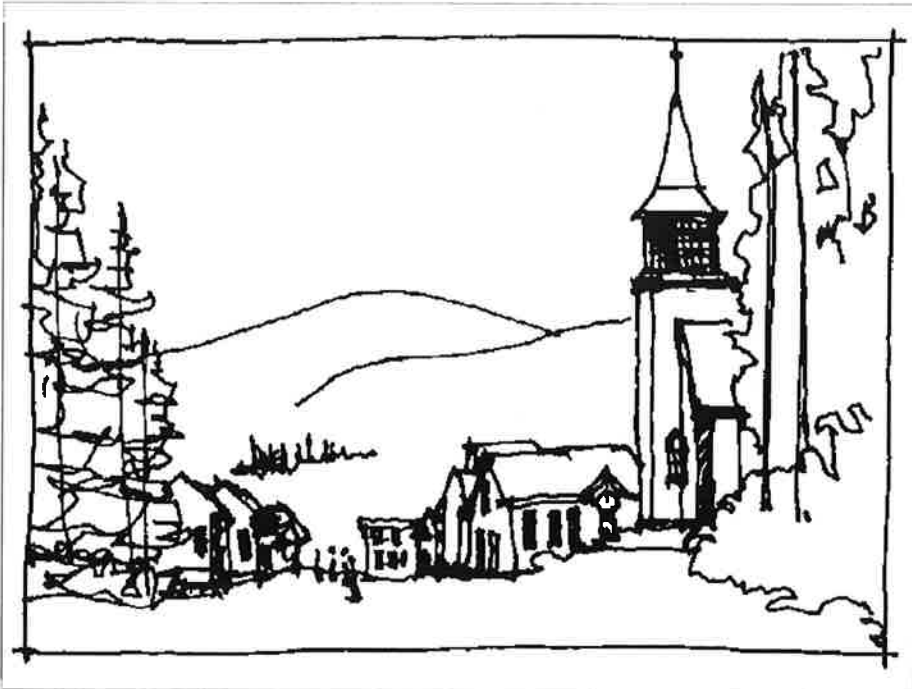
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# 1.0 Background and Analysis - 1.1 Nordegg Historical Eras

The town of Nordegg is situated in the foothills along the David Thompson highway 100 km west of Rocky Mountain House. Nordegg was founded in the early 1900's as a coal-mining town by Martin Nordegg, a German entrepreneur. The mine supplied coal to the Canadian Northern Railway, which, in turn, built a rail line to the town in 1914. Brazeau Colliers operated the mine from 1912 until the demise of the steam locomotive in the mid- 1950's when the mine closed and the town was virtually abandoned.

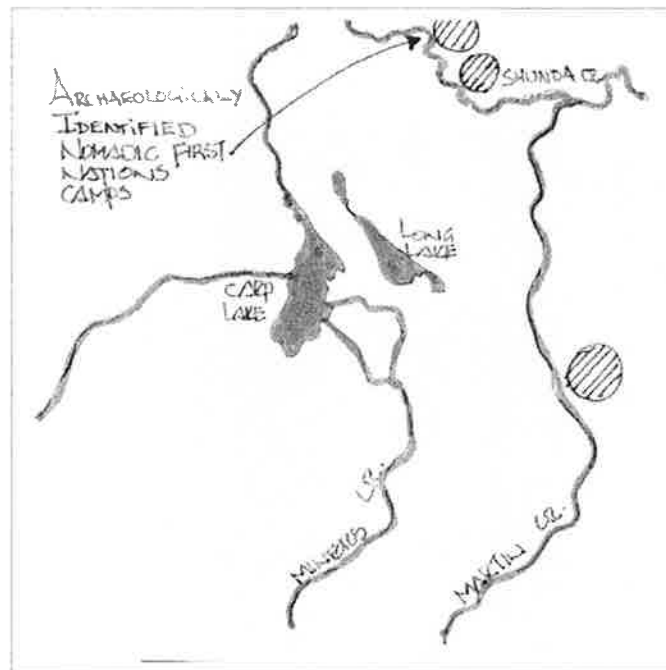
Long before Nordegg's arrival the area had been an important First Nations' hunting and camping location - attracted by the same natural amenities that draw people today.

Nordegg was a formally planned community based on Nordegg's philosophy that an industrial town should also be a family town. Nordegg drew inspiration from the Garden Cities of Europe and the CNR Township plan for Montreal's Mount Royal district which was being developed at the same time. Nordegg was initially planned for 50 modern miners' cottages arranged in a semi-circular pattern around a central business and service core. Main street started at the railway at one end and ran downhill to a distant view of Mount Baldy at the other. Management housing and the hospital were located across the tracks on a wooded hillside, while the mine itself was separate, but nearby, to the west. At its peak, Nordegg was home to 2,500 people with 800 of them employed by the mine.

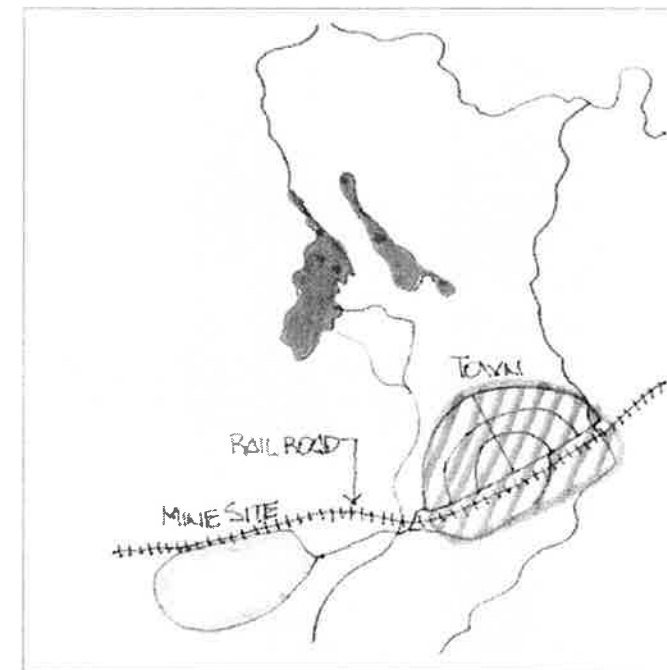
Following the mine closure, the Alberta Government established a corrections camp in the former town site. The majority of the original buildings were demolished as potential fire hazards, and access to the original town site area was restricted. At the same time, a highway service centre developed along the access road from the David Thompson Highway, which replaced the railway as the access route to Nordegg.

The corrections camp closed and title to the Nordegg town site is now held by Clearwater County.

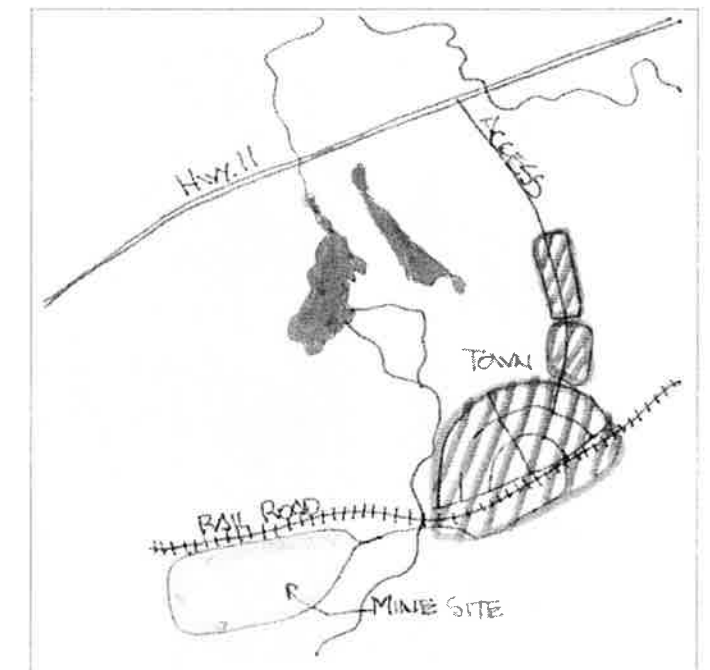
Re-development has started and Nordegg is entering another era for which these guidelines provide direction.



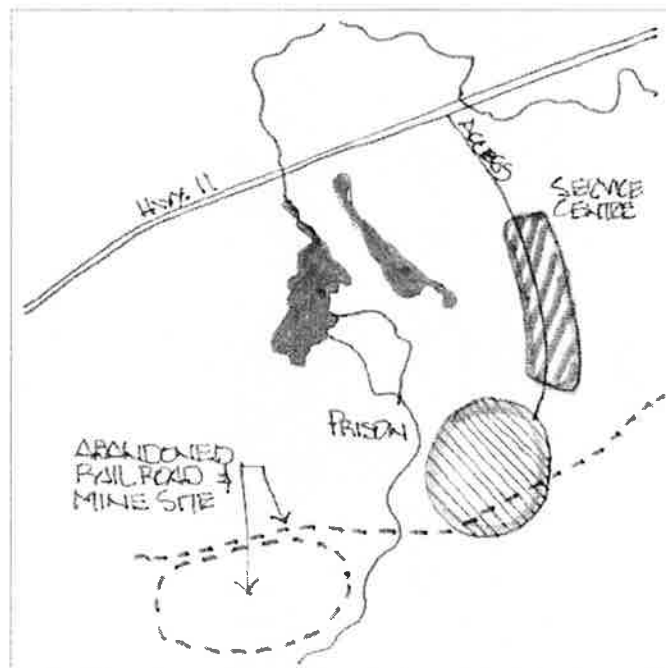
Pre-Nordegg Before 1906



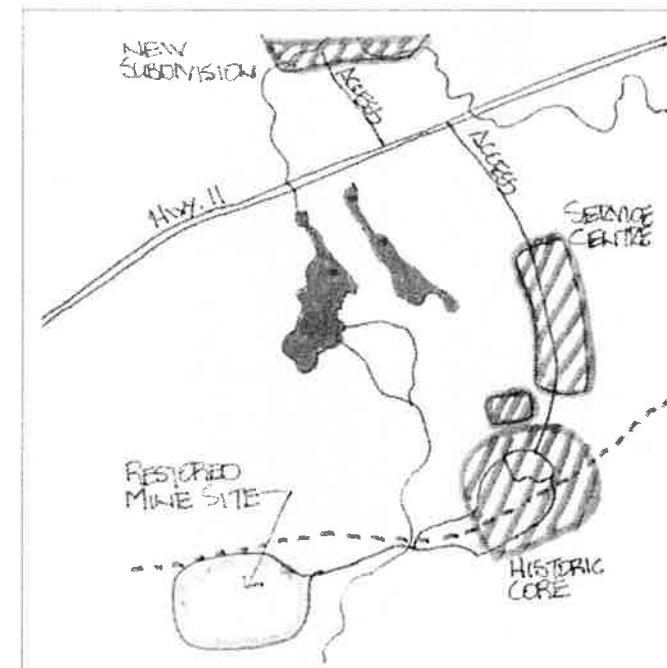
Nordegg - Early Mining 1910 - 1924



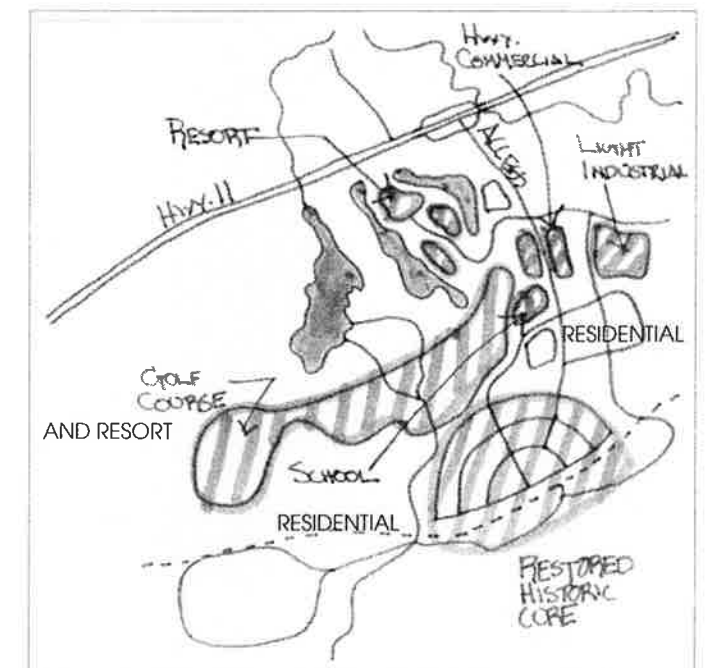
Nordegg - Later Mining 1939 - 1955



Nordegg - Post Mining, Prison 1963 - 1995



Nordegg - Present 1995 - 1999



Nordegg - Future



# 1.2 Town Characteristics

Nordegg is dominated by its isolated, wilderness, mountain location. Since the first settlement, residents have interacted closely with the surrounding lakes, streams and forests, relying on them for commerce, recreation and aesthetic pleasure. Residents have always considered their town to extend far beyond the built-up areas.

The original town plan was characterised by the formality of its concentric circle residential streets bisected by a central commercial main street, and directed towards the railway. The town was physically separated from the mine, although obviously completely interwoven socially and economically.

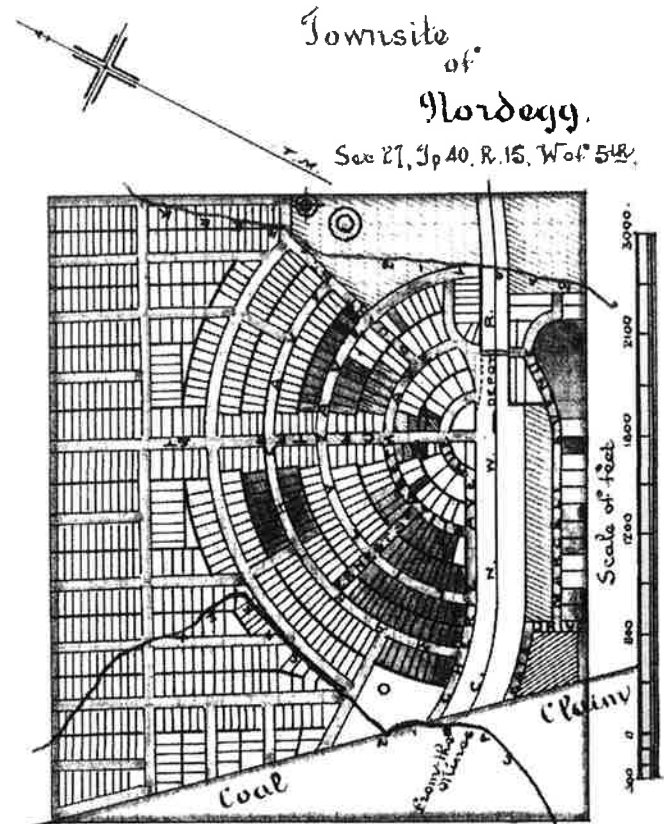
The town, although entirely based on the single mining industry, provided a comfortable environment for family life. Recreation facilities included outdoor bocce courts, a curling rink, hockey rink, tennis courts, gymnasium, library, theatre, dance hall, teen centre and a ski hill in addition to hunting and fishing in the surrounding wilderness. Today, golf, mountain biking, cross-country skiing, and snow-mobiling have been added.

Nordegg is also somewhat unique in being set a distance off the main highway, thereby not disrupting the clean mountain views for travellers. This also presents an opportunity to redevelop the town without a strong orientation to the automobile in keeping with the original.

The present town has a population of 60 residents, which includes a hotel and restaurant, a general store, a post office and a gas station concentrated along the approach artery. Government offices for Alberta Forestry and Alberta Infrastructure also exist in the region. The old cemetery remains, along with, a special memorial plot to those killed in mining accidents. A former school now houses a museum, shop and restaurant, while the church is the only main street building to have been rehabilitated and kept in use. Basic water and sanitary sewer systems exist in the town, but with limited capacity.

Considerable effort is being made to restore the old mine site, which now serves as a significant tourist attraction.

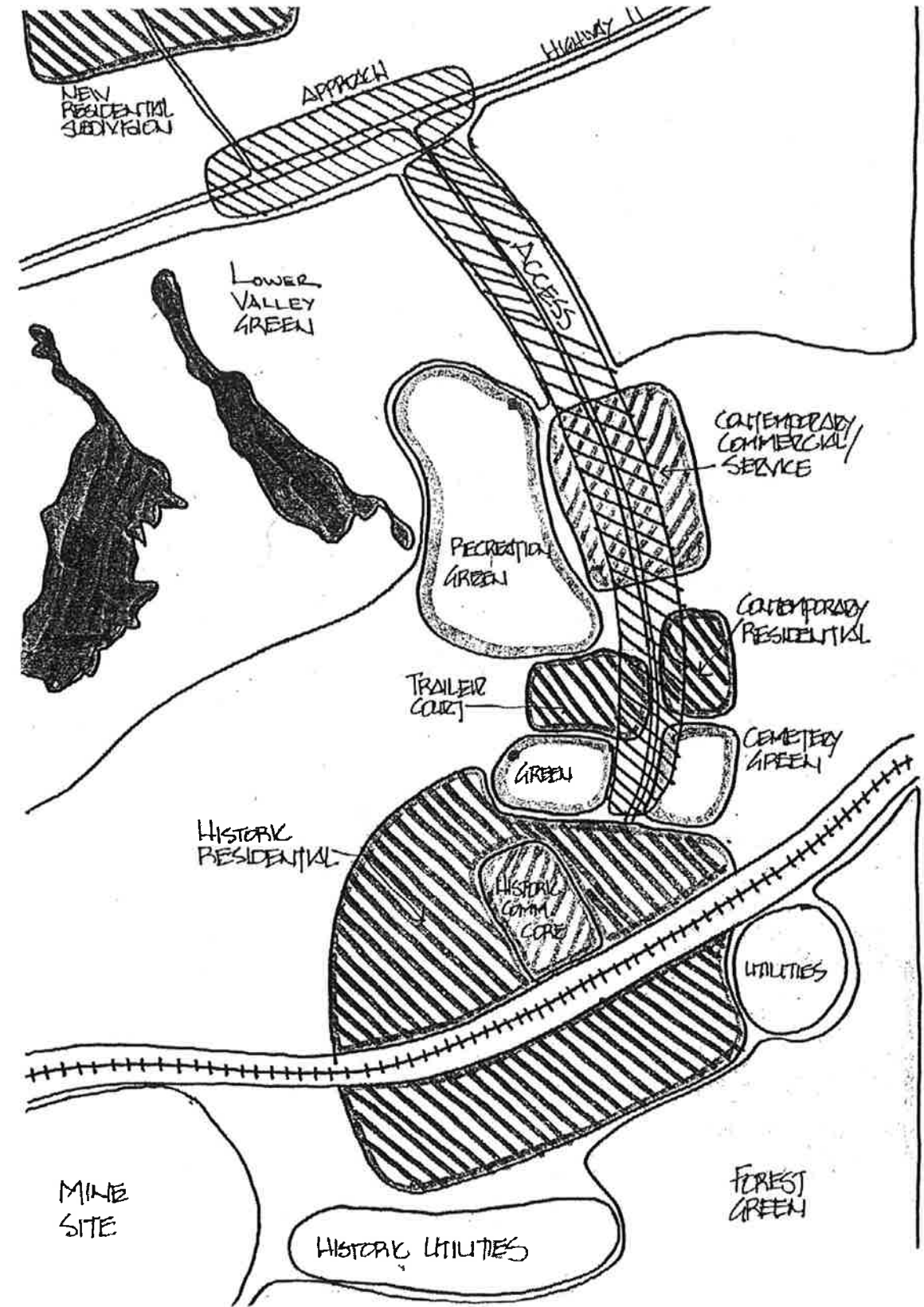
The town comprises several distinct areas, each of which is discussed in more detail in the following sections. In addition, these guidelines introduce the concept of "landmarks" as the unifying set of planning and development elements providing a level of thematic design consistency.



Nordegg - Historical Layout - by the kind courtesy of W. John Koch, originally published in "Martin Nordegg - The Uncommon Immigrant" - Property of W. John Koch.



Nordegg Air Photo - 1960



Town Character Areas - Past and Present

# 1.3 Natural Areas

## Existing Site Characteristics (2000)

### Physical

- mountains
- stream
- bogs
- lakes
- grassy hills and meadows
- plantlife variety
- some natural regrowth on Historic Core site and Mine site that have been previously cleared
- impressive visual corridors
- area is surrounded by wilderness; area is relatively untouched compared to other east-west valleys in Southern Alberta
- views from townsite are dominated by Baldy Shunda Mountain and Coliseum Mountain to the north
- distant views of Rocky Mountains to the west are not prominent nor visible from all areas in the townsite, but are enticing
- low hills south of town act as a dark evergreen backdrop enclosing the town
- Town built on the southern up-slope of the wide flat valley of the Shunda Basin drainage area: north facing slopes; considerable topography within townsite
- Native name for Nordegg region translates to Lake Mucky Swamp; Shunda is a Stoney word for mire or swamp; large wetland areas with considerable amount of muskeg; small shallow lakes; Shunda Creek small meandering; more intimate creek

### Economic

- natural areas offer recreational (and consequently) economic opportunities
- area was historically important as a source of food for First Nations peoples

### Social

- natural areas offer recreational (and consequently) social opportunities
- original local town population developed an approach to the surrounding territory as an extension of dwelling; local population had a strong territorial feeling about the entire area; the town is not viewed as an enclosure within the mountains but the entire region was an extension of home
- the area's abundant game and good camping was important to early First Nations residents
- First Nations lived a nomadic life, gathering, hunting, fishing - living in harmony with nature

## Goals

- to retain integrity of important natural assets including views, drainage areas, and topography
- to integrate Town and nature
- to promote nature as a key development guideline component

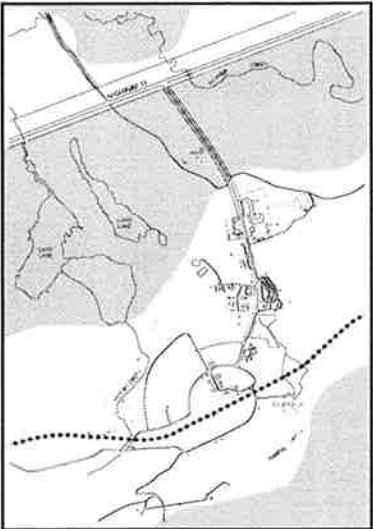
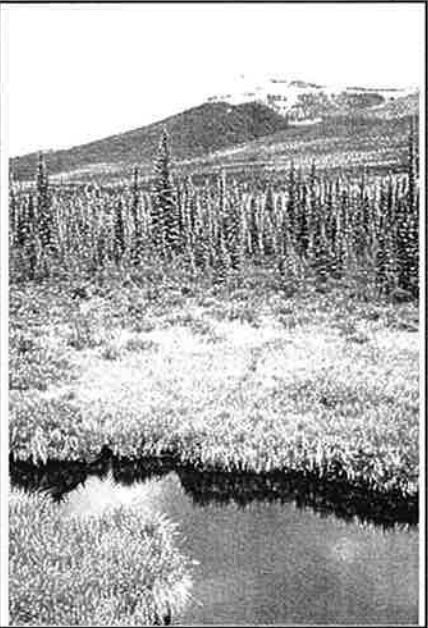


Photo: Collection of Belliveau, Anne.



# 1.4 Highway Entry Area

## Existing Site Characteristics (2000)

### Physical

- with the exception of the mix of signage, the highway entry has an almost exclusive mountain valley feel; the low wetlands of Shunda Creek, the mountains on either side with a distant view of the more rugged peaks of the Rocky Mountains in the distance; the only distant side glances of the mine site, quarry and townsite
- the limestone quarry is the most dominant view of human activity
- poor signage into Nordegg; does not portray Nordegg as a desirable destination - poor sense of entry and arrival
- the Nordegg Lodge sign has a Bavarian Mountain theme, others are smaller, hand-produced, scattered and inconsistent
- existing Town is oriented towards the highway, unlike the time of the original town; rail was the main access, so the town was oriented from the rail station
- a split -entry townsite on one side and a new subdivision to the north
- also serves as heavy vehicle access to the limestone quarry and other service industries

### Economic

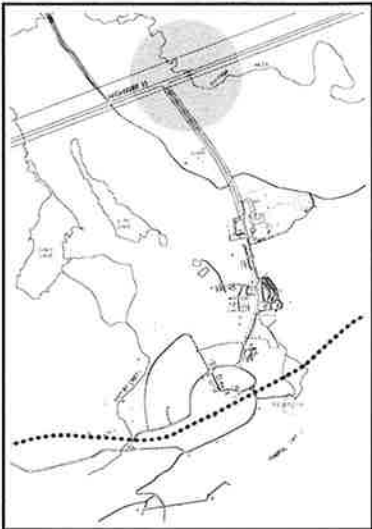
- Nordegg is the only service point between Rocky Mountain House and the Saskatchewan River Crossing
- an improved sense of entry and arrival will improve attraction to existing and future businesses

### Social

- past; this lowland area was a crossroads of trails for the First Nations people
- quiet solitude for 100 km in either direction
- area attracts range of recreational tourists - hunting, fishing, hiking, nature viewing, skiing, off-roading

## Goals

- introduce the identity and theme of Nordegg to the highway traveler
- introduce more thematically consistent signage along the highway to strengthen identity/theme and promote attractions
- arrive in a clean, clear, and unique destination
- avoid highway & approach strip commercial development
- retain advantage of clean, green mountain views uncluttered by development
- unifies entries to both the town and the residential area north of the highway



Distant View of Mine Site



Distant View of Rockies



Existing Signage



# 1.5 Arterial Commercial Area

## Existing Site Characteristics (2000)

### Physical

- access road from Hwy. 11 traverses a wildlife corridor and natural drainage course
- limestone quarry is visible to the east
- mix of architectural styles, overhead power lines, and poorly maintained buildings detract from distant views and natural entry to townsite
- inconsistent signage
- lacks a defined entry
- was not the original main access to the Historic Core; the railway was main access

### Economic

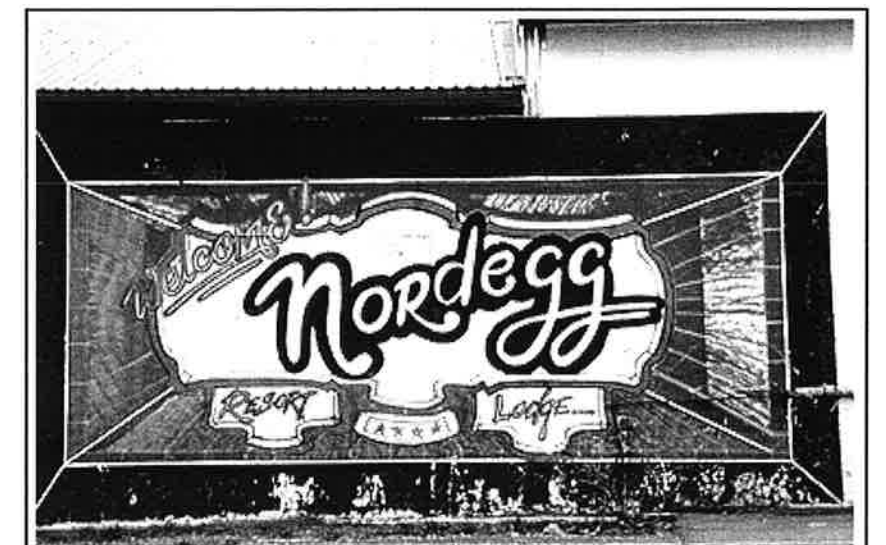
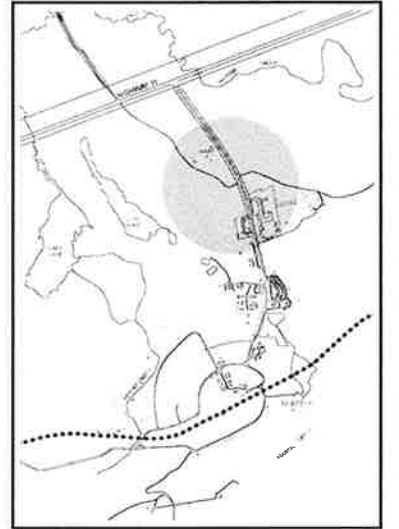
- offers only commercial services between Rocky Mountain House and the Saskatchewan River Crossing
- recreational service centre for local hunting and fishing

### Social

- recreational services (mountain biking, golf course, trail rides, RV centre, hotel)
- segregated from mobile home sub-division and historic core
- hotel is gathering place for the community

## Goals

- to retain the existing highway service function
- balance the natural features with the built forms
- establish a planning and design consistency that supports the overall community theme
- complement historic core commercial developments without competing



Existing Development

# 1.6 Historic Commercial Core

## Historical & Existing Site Characteristics (2000)

### Physical

#### Then

- town planned on a human scale so that everything was within easy reach on foot or by bicycle
- formal concentric circle streets and main street axis centred on the railway and visitor arrival point at the top of the town
- town site was built on a series of north-facing terraces with a substantial amount of topography throughout the town
- the view from the top of the steep Centre Street centred on the view to Mt. Baldy to the north
- wooden boardwalks connected the downtown buildings and the residential areas
- buildings were simple rectangular shapes with simple pitched roofs
- primarily wood buildings, some red brick
- buildings were 1,2,3 storeys; church was highest

#### Now

- few original buildings left
- some buildings are safety risks in their current state
- semi-circular plan - most of the old roads and lot layouts are difficult to detect on the ground
- church in excellent condition; services and weddings held there
- old railway siding remains
- modern government buildings, i.e. utility and storage sheds are out of character
- remnants of the CIBC bank building are rich in original architectural character
- red brick Bighorn general store remains

### Economic

#### Then

- mining-based, rail link to outside
- Brazeau Collieries owned the town. The Crown then owned the land and all buildings until 1996 when the County took over
- contained a full range of goods and services providers

#### Now

- no commercial operations remain
- a few small service buildings being utilized

### Social

#### Then

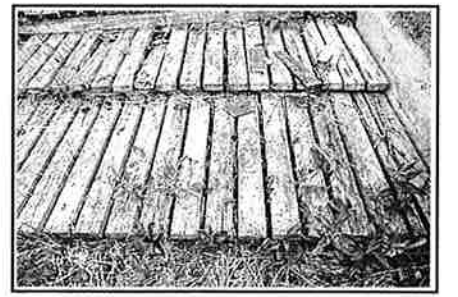
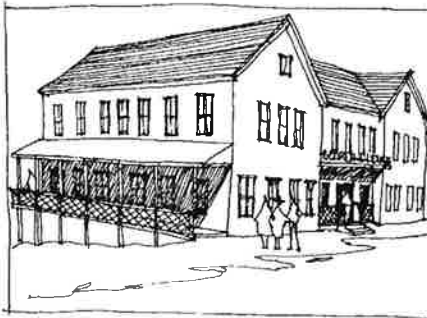
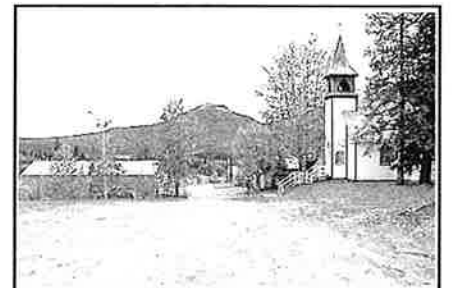
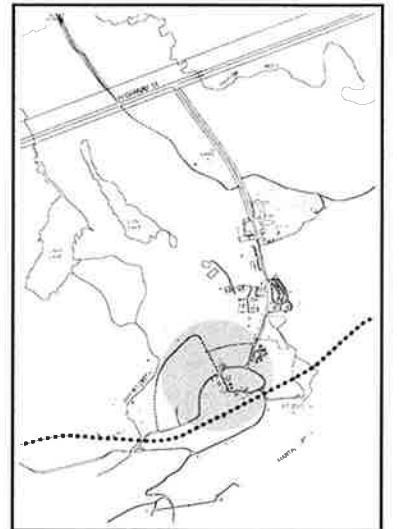
- the Garden City model was planned as an ideal family/industrial community, an integration of rural and urban processes and functions that promoted values of health, recreation and education
- was a family-oriented town with recreation facilities (ice rinks, bowling, gym, library, theatre, badminton, dance hall, bazaars, teen centre) with main street as a focal point
- residents used to socialise on streets, building porches and at the railway station (to wait for travellers and mail)

#### Now

- people now visit to learn town's history, take mine tours, and for recreation purposes
- only the church remains in public use

## Goals

- incorporate the Garden City model community design into new developments
- allow for the scale and spatial organisation of a traditional town without succumbing to only superficial appearances. Flexible guidelines can allow for individuality while directing design towards historic prototypes of architectural tradition
- respect existing topography when developing planning and design guidelines
- re-establish a commercially viable town core
- inject life into Historic Core
- shift main core entry to upper street in front of old train station site



# 1.7 Residential Areas

## Historical & Existing Site Characteristics (2000)

### Physical

Then

- worker's housing areas: along semi-circular streets, low-density, single-family, simple buildings regularly aligned, covered a small percentage of relatively large areas (40' -55' frontage, 135' deep), basically cleared sites
- management housing - up the hill, across the tracks, built in trees
- original street names were Martin Nordegg's friends and relatives
- early in the town's history, residential areas were segregated - workers and management
- front porches and wood picket fences were a consistent component throughout the town

Now

- a mix of housing types including 1940's single-family, newly refurbished 2-storey duplexes, mobile homes and other isolated single-family homes of various dates
- wide range of colours and building materials - no consistency
- some use of white picket fences consistent with historic town
- some locations (e.g. mobile homes) conflict with plans for revival of old town plan
- recent expansion to acreage housing on north side of Hwy. 11
- additional private campground development at former air strip
- 2 original mail-order 'Vancouver' houses exist to be relocated
- cluster of 1945 houses on east side illustrate original building architecture and colour

### Economic

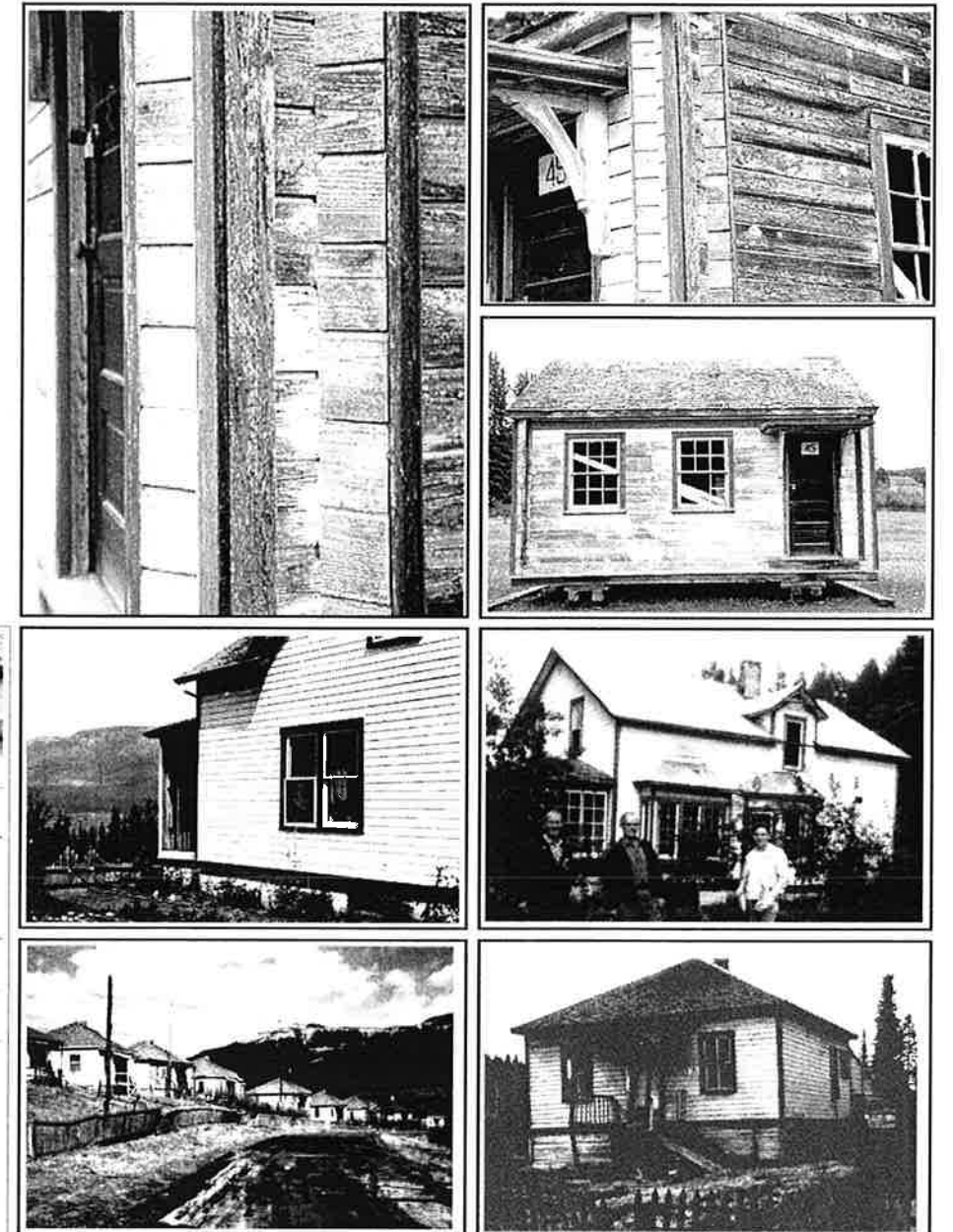
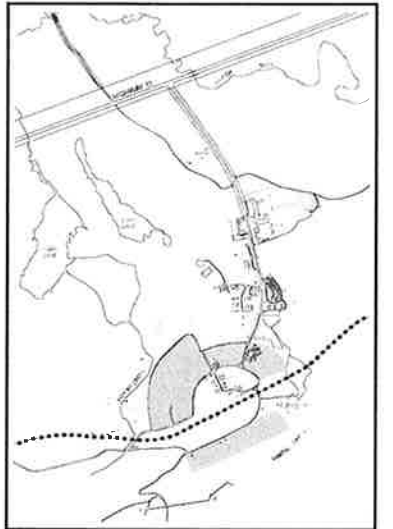
- housing options cater to a range of income groups

### Social

- a small resident population of approximately 60 persons
- a relatively stable, no-growth situation for a significant period of time
- some relocation of residents will likely be required to accommodate new servicing and land use plans

## Goals

- to provide housing opportunities to attract and satisfy a range of needs
- re-develop the historic core to be reminiscent of the original town
- develop outlying residential areas that are consistent with the overall community planning and design theme, while allowing a degree of flexibility less stringently tied to historic precedents
- minimize development sprawl



# 1.8 Mine Site

## Existing Site Characteristics (2000)

### Physical

- mine structures are strong visual images - the most dominant and unique built form in the area
- solid, heavy-duty, industrial strength steel, timber, concrete, brick construction
- simple, large, dramatic forms and angles
- provides a sense of place and history
- provides strong elements for revitalisation themes and building materials
- current colours include galvanised zinc, rusting iron, yellow equipment, weathered wood, red brick, raw concrete, pastel paints on wood, barn red wood siding, black coal, yellow, blue and purple wild flowers
- restored Vancouver houses re-located

### Economic

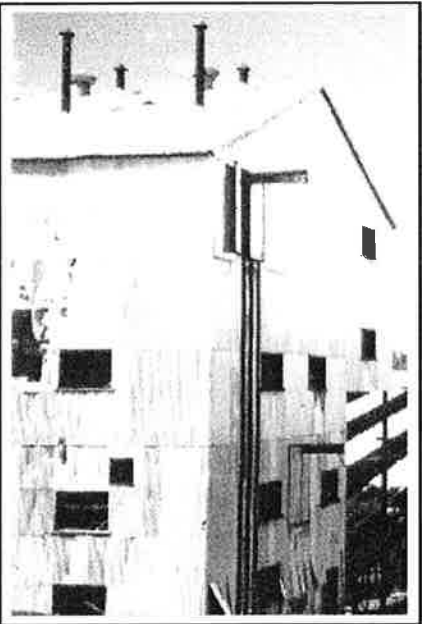
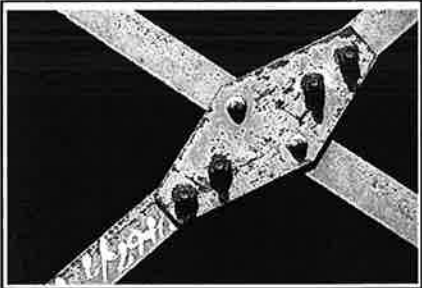
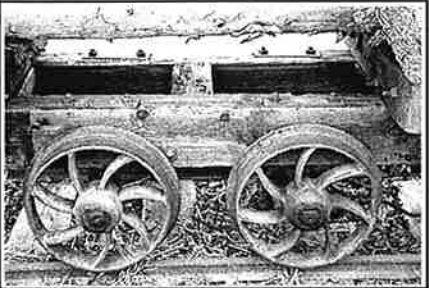
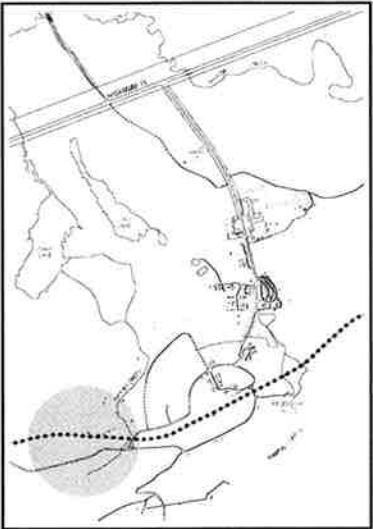
- tourist attraction
- limited season at present: operating during the May- October period
- requiring capital injections to restore structures and site

### Social

- provides sense of place and history
- any visitors and current residents have ties to the mine
- active local historic society and interpreters

## Goals

- incorporate mine images where appropriate into the new town development
- highlight mine image as key attraction



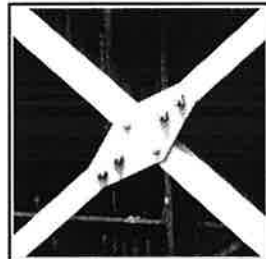
# 2. Design Approach

Three main themes are used as guiding principles for the overall design guidelines. These themes are outlined below:



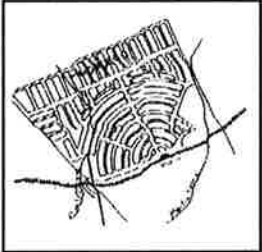
## Reaching to the Past but Looking to the Future

Nordegg was a unique, thriving, and modern town. Redevelopment will achieve this again with a contemporary town reflecting its historic character - using the is past to build on its future.



## Built From the Underground Up

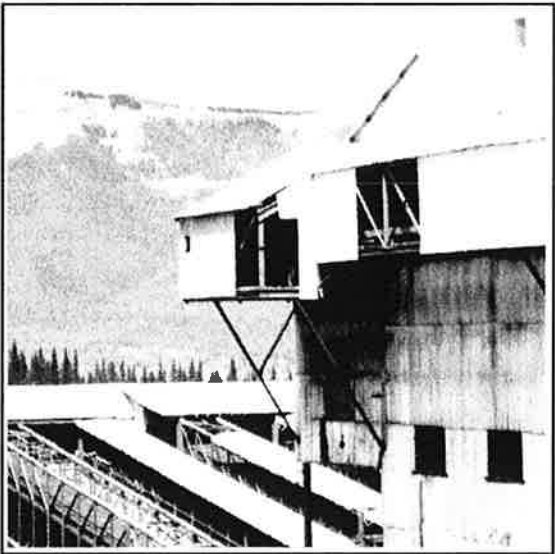
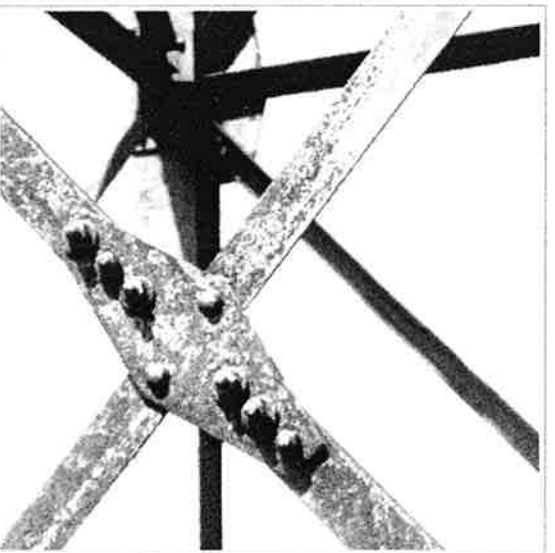
Nordegg's deep historical roots lie in the coal mining industry. Integration of these roots into the overall design approach is necessary in order to encapsulate all that Nordegg is. The mining aesthetic will be incorporated into street furniture, signage, and lighting.



## Alberta's Garden City

Nordegg exists as Alberta's only example of a town built on the "Garden City" plan. Visual elements of this aspect of the town are hard to ignore and should be included in any approach to town design. Utilizing this type of plan in the design guidelines offers an escape from the undifferentiated development that forms neither neighborhood or city in the bland stucco suburbs of the 1990's. This in turn offers the opportunity to live in a traditional town with historic community scale and architectural traditions.

The First Nation's people and the original town populations of Nordegg had a strong territorial feeling about the entire surrounding landscape. The surrounding natural landscape is a dominant feature of the town and the integration of the town into the surrounding natural areas is an obvious theme to build on in conjunction with other design approaches. Sustainability and environmental issues were considered in the original conceptualisation at the turn of the century. These issues in turn are considered in the area's redevelopment as a sustainable community. Nordegg also serves as an example of an environmentally friendly community.



## Nordegg Design Guidelines

# 3.0 Town Plan

## 3.1 Goals

Nordegg is planned to be a small town where the characteristics of a village are promoted. Both the physical and social dimensions associated with a village will be integral to Nordegg's re-establishment. Goals of the Town Plan and Guidelines are as follows:

- development that honors the Town's physical setting and history
- a compact development pattern where various land uses are readily accessible and easily defineable to residents and visitors
- a distinct edge to the town, which defines the separation of urban from natural areas
- mixed land uses, which promote the liveability of the town
- buildings that are generally small in scale and appropriate to the setting and history
- compact commercial areas that are pedestrian oriented and readily accessible from adjoining residential and recreational areas
- visually attractive commercial areas which reflect the history of the town and incorporate a high degree of pedestrian and landmark amenity
- a historical streetscape and public spaces that foster a high level of community interaction and unique identity
- small-scale family owned businesses

Through a process of issue identification, a number of key development areas are identified. Development goals for each area are as follows:

### Highway Entry Area

- arrive in a clean, clear, and unique destination
- avoid highway & approach strip commercial development
- retain advantage of clean, green mountain views uncluttered by development
- unify entries to both the town and the residential area north of the highway
- introduce the identity/theme of Nordegg to the highway traveller
- introduce more thematically consistent signage along the highway to strengthen identity/theme and promote attractions

### Arterial Main Access

- to retain the existing highway service function
- balance the natural features with the built forms
- establish a planning and design consistency that supports the overall community theme
- complement historic core commercial developments without competing

### Residential Areas

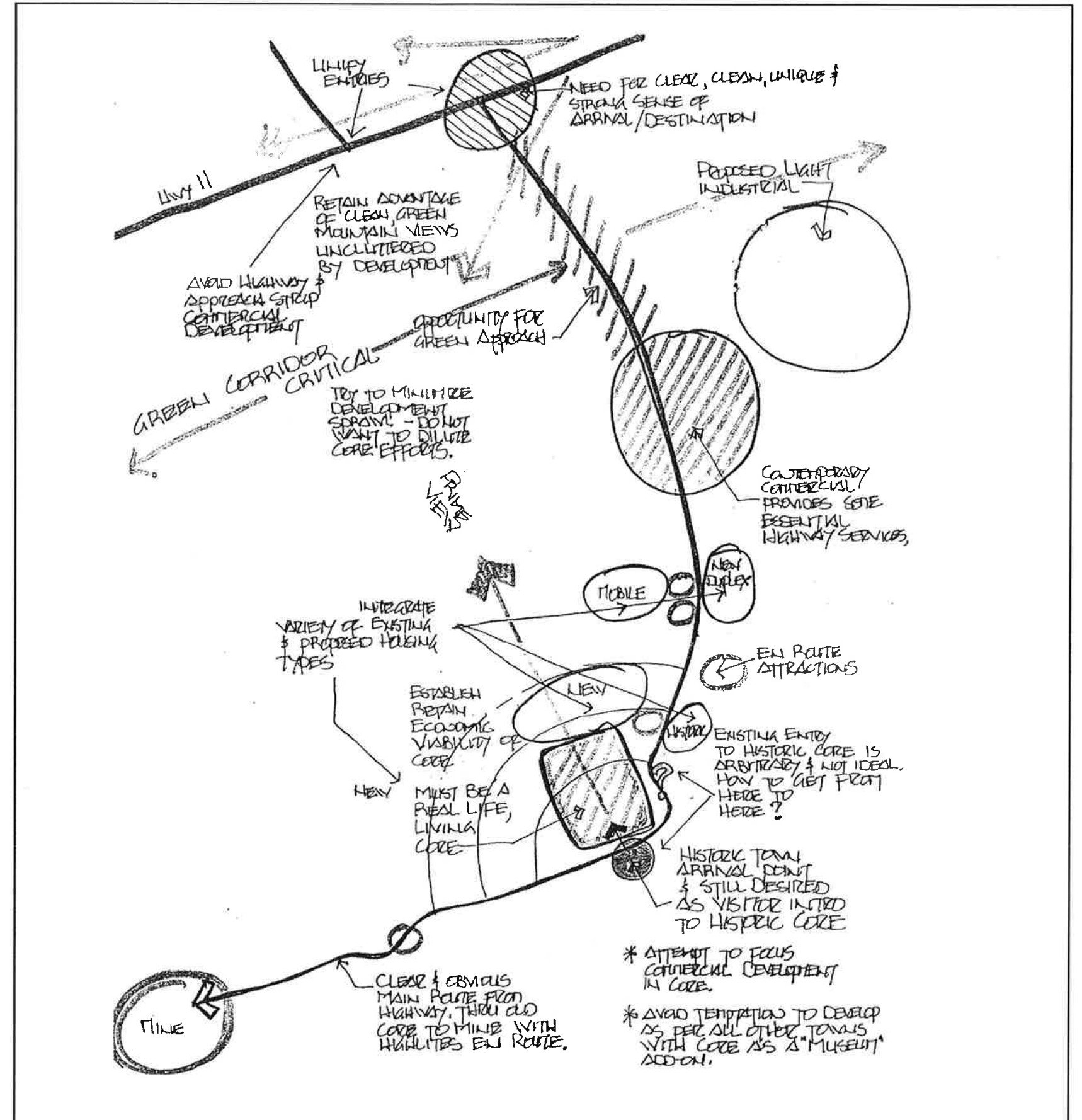
- minimize development sprawl
- to provide housing opportunities to attract and satisfy a range of needs
- re-develop the historic core to be reminiscent of the original town
- develop outlying residential areas that are consistent with the overall community planning and design theme, while allowing a degree of flexibility less stringently tied to historic precedents

### Historic Commercial Core

- inject life into Historic Core
- shift main core entry to upper street in front of old train station site
- arrive at old train station site
- develop a clear and obvious main route from highway through old core to mine
- incorporate the Garden City model community design into new developments
- allow for the scale and spatial organisation of a traditional town without succumbing to only superficial appearances. Flexible guidelines can allow for individuality while directing design towards historic prototypes of architectural tradition
- respect existing topography when developing planning and design guidelines
- re-establish a commercially viable Town core



## Nordegg Design Guidelines



## 3.2 Key Areas

Five planning areas are considered in these development guidelines. The first four are discussed in detail while general strategies are presented for the final one.

### 1. Landmarks

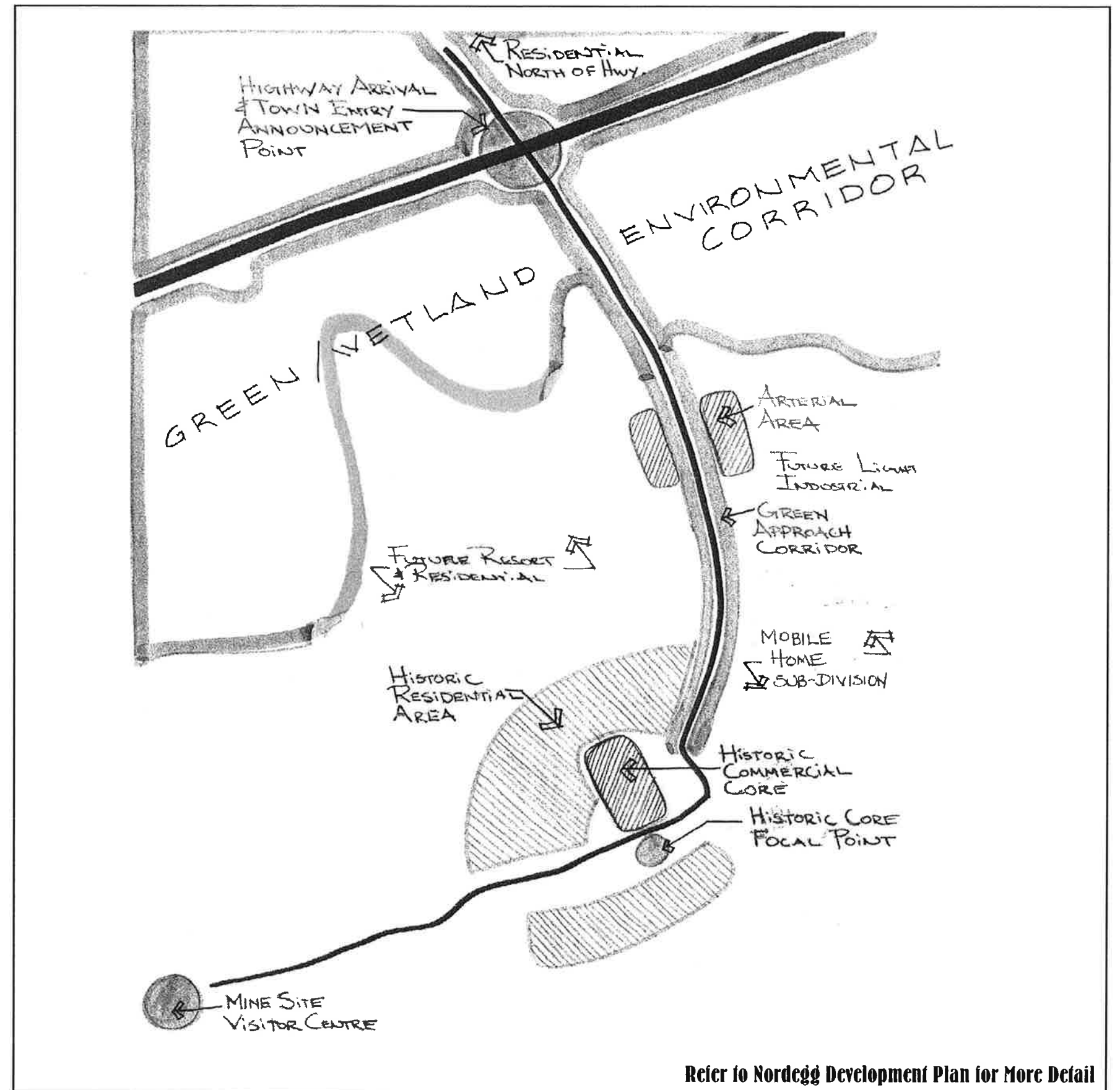
### 2. Arterial Area

### 3. Historic Residential Area

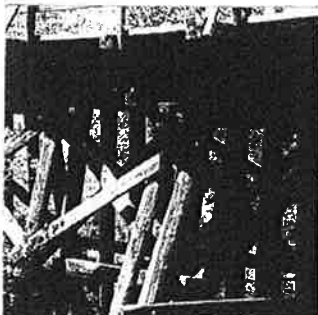
### 4. Historic Commercial Core

### 5. Fringe Areas:

- a) Light Industrial
- b) Resort Commercial
- c) Mobile Home Subdivision
- d) Fringe Residential (including North of Highway)



# 3.3 Landmarks Public Spaces and Structures



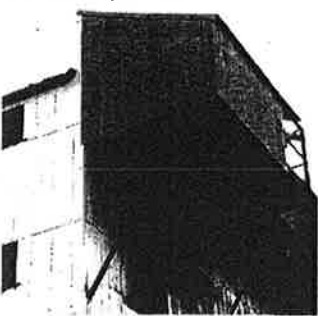
West Railway Trestle



Mine Site



East Railway Trestle



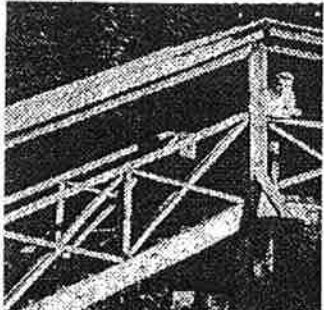
Mine Site



Downtown Boardwalk



Railway Station

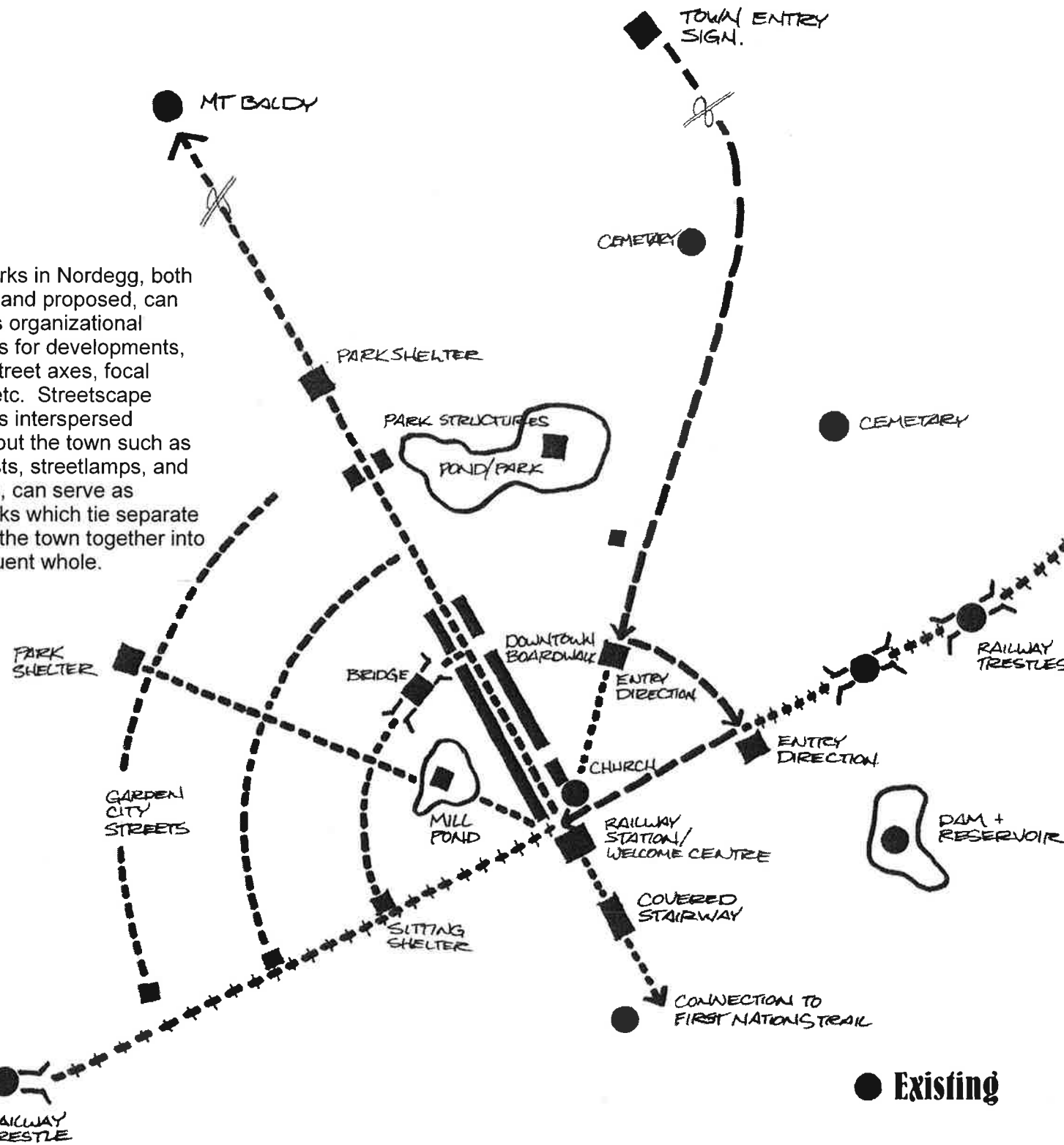


Covered Stairway



Church

Landmarks in Nordegg, both existing and proposed, can serve as organizational elements for developments, views, street axes, focal points, etc. Streetscape elements interspersed throughout the town such as sign posts, streetlamps, and furniture, can serve as landmarks which tie separate parts of the town together into a congruent whole.



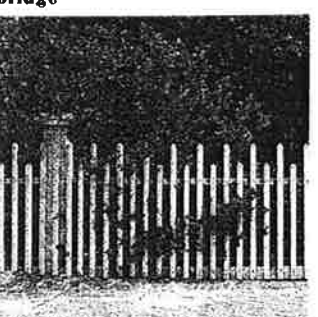
Park Structures



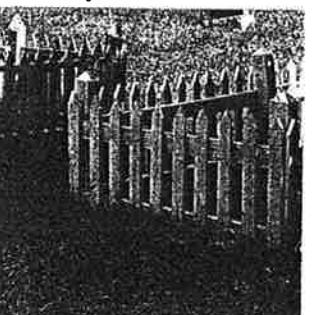
Dam and Reservoir



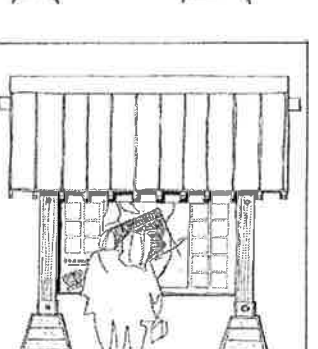
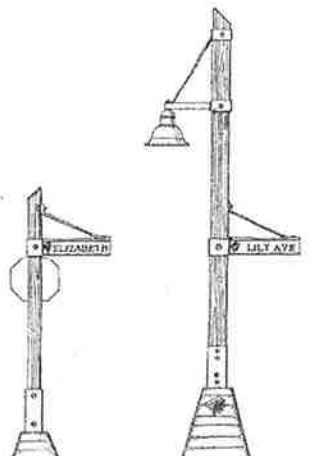
Bridge



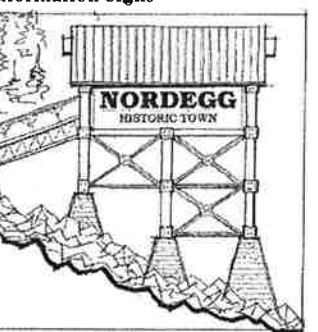
Garden City Streets



Cemetery



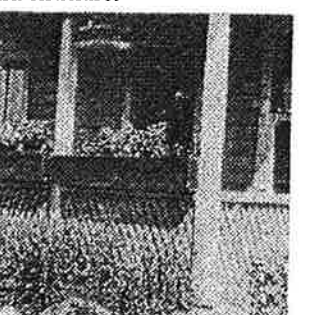
Information Signs



Town Entry



Park Structures



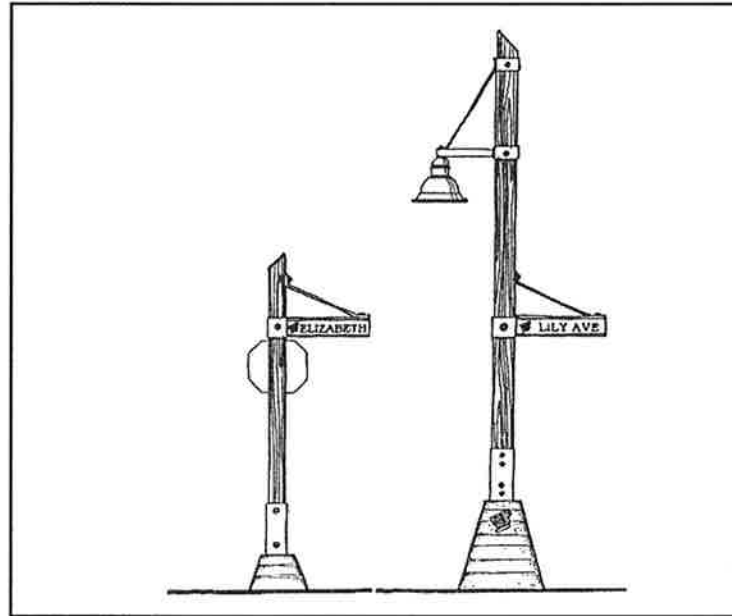
Garden City Streets



Nordegg Design Guidelines

# 4. Design Guidelines - Summary

## 4.1 Landmarks



A town's identity or image is determined not only by the architecture of the houses and stores, but also by the town's landmarks. The town's landmarks consist of the public buildings, public spaces, streetscapes, vistas, parks and site development. The elements of this identity are more difficult to define, but the intent of this section of guidelines is to foster a community with a strong sense of place which provides residents and visitors a clear image of Nordegg's history and natural surroundings. Each development proposal should be able to demonstrate how the project design builds on this community vision. The unique identity of Nordegg can be enhanced and continued by the careful development of the existing and proposed landmarks of the new town.

Proposed landmarks consist of lighting, signage and street furniture. Their aesthetic is influenced by the rugged vernacular of the mine building and tressle bridge construction which exists in the area. The Landmarks become a combination of concrete piers, heavy wood timbers, bolted steel connections, and steel bracing.

## 4.2 Arterial Area



The design intention of the arterial commercial area is to evoke the essence of the industrial mine aesthetic. While providing "service" type commercial functions, it is not the intention of this area to compete either economically nor aesthetically with the downtown core. Taking a note from the wooden and steel clad buildings at the mine site, a simple gabled form emerges. Flush entryways and signage painted or attached directly to the building are some of the simple characteristics of these arterial commercial buildings. As well, the aesthetic of the old Brazeau Motors Garage is called upon as its building typology is consistent with the type of service related uses which will exist in the area.

## 4.3 Historic Residential Areas



The housing style and detailing in the historic residential area is modeled after the original houses which were present circa 1915. These houses were characterized by their painted cedar 4" siding, front porches, and cottage or gabled roofs.

## 4.4 Historical Commercial Core



It is the intention of these guidelines to maintain the spirit of the historical construction which stood in the downtown core circa 1914-1920. The desire is to use very simple building forms and detailing to achieve this effect. Building elevations on all sides tend to be symmetrical and flat, except for recessed entryways. Materials appropriate to this style include 4" painted horizontal wood siding, and painted wood detailing. Colors range from light yellow through tan to cream. Upper facades (between upper cornice and gable end) can either be 4" painted horizontal siding, stained cut wood shingles, or use a combination of vertical 4" and horizontal 4". The lower level of the front facade tends to be relatively transparent. The upper facade features a row of vertically oriented windows symmetrically placed.

## 4.5 Fringe Areas

### a) Light Industrial

### b) Resort Commercial

### c) Mobile Home Subdivision

### d) Fringe Residential (including North of Highway)

In the following four fringe areas, the architectural guidelines will be somewhat relaxed. The aesthetic intentions for these areas are as follows:

- Landmarks are to carry through this area to provide consistency.
- The mine site aesthetic is encouraged in this area.
- Landmarks are to carry through this area to provide consistency.
- A "Rocky Mountain" aesthetic is encouraged in this area.
- Views of dramatic landscape features are to be ensured.
- Landmarks are to carry through this area to provide consistency.
- Views of dramatic landscape features are to be ensured.
- The aesthetics of the mobile homes themselves are difficult to control. Therefore, landscaping is to be used to visually screen the development from the rest of the community.
- Landmarks are to carry through this area to provide consistency.
- A "Rocky Mountain/Heritage" aesthetic is encouraged in this area.



# 4.1 Landmarks

A town's identity or image is determined not only by the architecture of the houses and stores, but also by the town's landmarks. The town's landmarks consist of the public buildings, public spaces, streetscapes, vistas, parks and site development. The elements of this identity are more difficult to define, but the intent of this section of guidelines is to foster a community with a strong sense of place which provides residents and visitors a clear image of Nordegg's history and natural surroundings. Each development proposal should be able to demonstrate how the project design builds on this community vision. The unique identity of Nordegg can be enhanced and continued by the careful development of the existing and proposed landmarks of the new town.

## .1 General Design Principles

### Historical Connectivity

- establish a strong relationship between the past and the design of the new development
- ensure that each development builds on the characteristic of a small village community and contributes to the overall town vision

### Diversity

- create a distinct and attractive project with individual expression within the historical context of the town community
- many small buildings rather than a few big buildings. Many small stores rather than a few large stores
- building facades that create a high level of visual interest
- incremental building activity which allows a project to adapt to its surroundings

### Continuity

- the arrangement of all site uses and improvements to be designed so as to reflect and harmonize with all the historic content and with the natural characteristics and limitations of the site and adjacent sites
- the project design creates a visually interesting and compatible relationship between the street and proposed structures and between the adjacent neighbour and proposed development
- site and design buildings in a manner that relates to the adjacent buildings and provides a continuous and interesting pedestrian streetscape

## .2 Site Planning and Design

### Site Analysis

- the site and its environs should be investigated thoroughly and the natural features of the site must be respected and utilized positively to enhance the quality of the development
- all site development applications, public or private, should emanate from an accurate and comprehensive environment survey of topography, ground cover, size and location of trees, site drainage, rock outcropping and other natural features. Accurate information is important to effectively design a sensitive development using the natural features of the site. Precise information is also essential to aid in evaluating a site development application

### Preservation of Existing Features

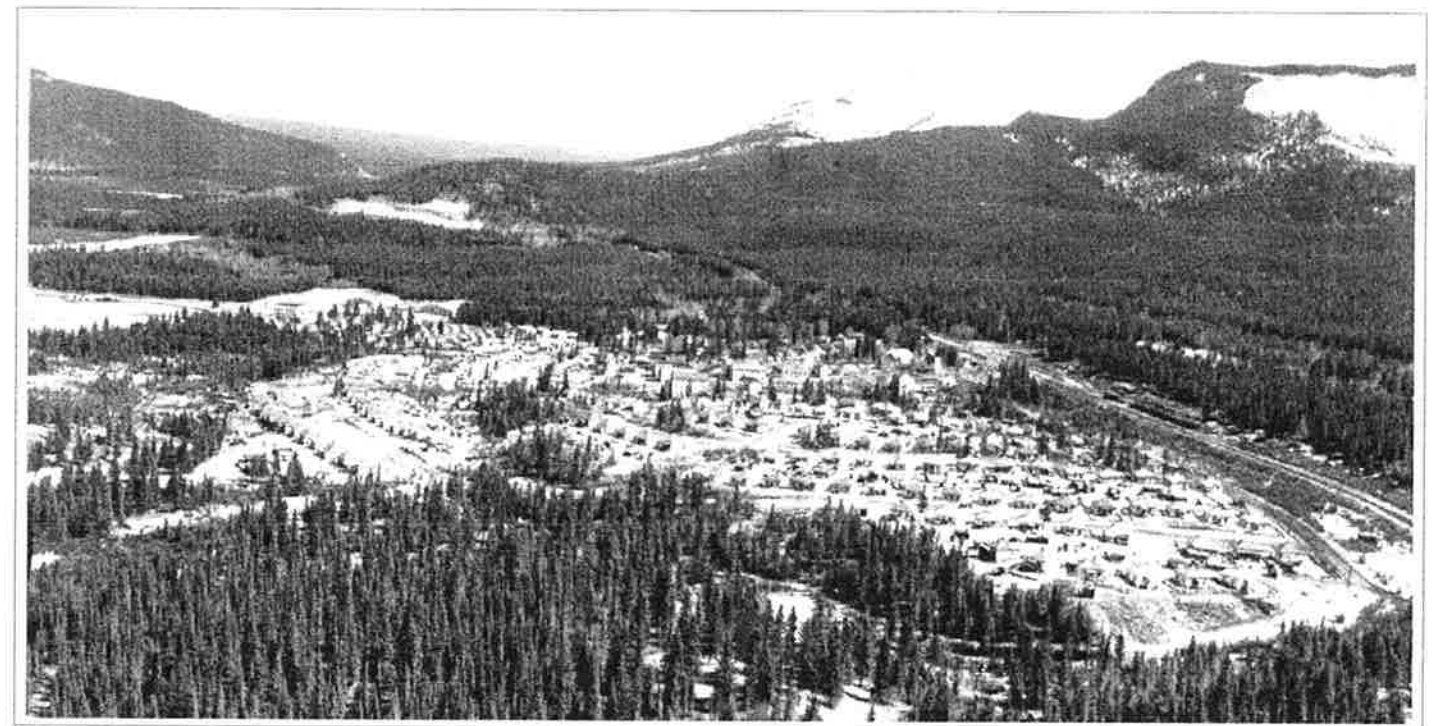
- retain all existing trees and natural vegetation where possible. It is far easier to preserve existing vegetation than to attempt to reinstate what has been destroyed
- detailed study of the proposed grading should be done to analyze the impact of any changes on the existing vegetation and site drainage. Design should be sympathetic with the existing grades to reduce the amount of cut and fill where possible
- coordinate underground utility locations to minimize disturbance to existing features to be retained

### Visual Impact

- development in Nordegg should preserve the qualities of a small hillside town from the distant views along the highway to views within the town. It is important that the scale, size and diversity of a development reflect the small town atmosphere
- site views to major natural features, such as mountains, rivers, valley gaps and ridges should be retained. New development should take positive advantage of visual linkages to the natural environment. Views into the development from the perimeter should be filtered and facilities not over exposed
- inappropriate views of buildings, service areas or site development should be screened or controlled
- the visual quality of the site development when viewed from distant higher elevations should be an important consideration. Facilities should appear to fit in with the natural environment
- entry points to use-areas should be clearly visible and defineable
- elements such as mechanical structures, parking lots, garbage containers, loading areas, satellite dishes, utility metres, antennae, skylights, plumbing vents and service areas should be screened
- all utilities to be underground to improve the visual quality
- important visual corridors and new viewpoints within developments should be planned to enhance the overall landmark framework

### Site Design

- the various functions and elements of the proposed development should be integrated into a unified, sensible site plan
- since Nordegg is a hillside town, the site grading is an important component of the development design. Care should be taken to ensure the building fits into the site with a minimum of cut and fill and the plan should clearly demonstrate how the proposed development relates to the adjoining development and adjacent sloping streets



Each development in Nordegg should build on the characteristic of a small, historic village community in a mountain setting.

Nordegg 1960



# 4.1 Landmarks

## .3 Pedestrian Environment

### Pedestrian Design

- the pedestrian is the focus of activity rather than the automobile. Site design should plan for a parking and circulation system that encourages a pedestrian rather than vehicular orientation
- all buildings to address the street and sidewalk with entries, balconies, porches and architectural features which help create an inviting, safe, pleasant walking environment. All projects should establish a strong pedestrian relationship between the building, sidewalk and street
- development should demonstrate how the project fits into the overall pedestrian system and should create a variety of pedestrian oriented spaces for walking, sitting, resting and watching

### Urban Areas

- covered timber boardwalks are required in downtown commercial area. Boardwalks to be level with timber stairs connecting adjacent boardwalks or sloping sidewalks. There must be at least one wheelchair access point at each boardwalk
- concrete or concrete paver sidewalks are required in all commercial and residential areas
- asphalt paths in heavier use areas are required on connections from the urban sidewalks to the open space trail system. asphalt paths are also required on all busy trails separate from the road system
- crosswalks and curb cuts should be clearly defined at all road crossings
- lighting should be considered in heavier use pedestrian areas. Lighting to be lower at a more pedestrian scale and consistent with the standard Nordegg design
- no bollard lighting

### Trail System

- trails to be developed to provide pedestrian circulation through the developed areas to the open space system. The trail system should connect all features of interest and be an important linkage component of the landmark framework to encourage people to explore the historical and natural features of the townsite area
- the trail standard to be a compacted local crushed aggregate with binder. Non-indigenous material such as red shale is not acceptable. The width and slope standards to be compatible with the required trail use, intensity of use, location and environmental protection
- signage should be consistent and concise throughout the trail system (see Signage Section)
- the access points to hiking trails and other pedestrian routes should be clearly defined
- in natural areas, native plant material should be used to define the trail access, to screen unsightly views, to direct movement and to enhance the pedestrian experience
- multiple use of trails in the area should be considered to provide for bicycles in summer and skiing in winter
- depending upon terrain, trails should be barrier-free, allowing use by everyone regardless of any handicaps or disabilities, where possible
- the Trail System should be designed to restrict motorized vehicles (except emergency and maintenance vehicles where required)

## .4 Vehicle Circulation

### Road Layout

- the scale and design speed of roads should be appropriate to the intended use of the facilities and be consistent with the historical layout of the Town
- the vehicular circulation system should be designed with the pedestrian in mind to promote a safe, pleasant walking environment in a small village atmosphere
- roads outside of the core urban areas should be designed to reflect the natural character of the surrounding areas. The townsite is designed for the enjoyment of the pedestrian and emphasis of the guidelines are oriented towards screening and downgrading the visual impact of vehicular movement and parking

### Road Design

- all roads within the urban areas to be asphalt
- concrete curb and gutter will be required in urban areas as directed in the town plan
- aggregate shoulders with grass swales and surface drainage will be allowed in perimeter areas as directed by the town plan
- all related facilities such as bridges, guardrails etc., to be designed consistent with the historical Nordegg image (see Public Amenities)

### Parking Design

- for all development, the number and size of parking and loading spaces, manoeuvring areas and on-site vehicular circulation shall be consistent with a small village atmosphere
- the parking areas should be broken into small-scaled pockets of cars, rather than one large parking lot. The scale of parking areas can be reduced with planting islands or breaks within the parking lot; however, the ease of snow removal must also be a consideration
- ensure that all vehicular surfaces in visitor and service-related facilities are hard surfaced with asphalt and properly drained. Slopes on all parking areas to be clearly detained
- parking areas should be clearly identified and provide an obvious link to pedestrian routes and connections
- the screening of vehicular facilities with natural vegetation and terrain modification is a basic consideration. Special consideration should be given to the screening of vehicular facilities when viewed from the surrounding natural areas
- the methods of separation and containment of vehicular circulation and parking from pedestrian and natural areas should be kept as natural as possible using heavy timber, natural boulder placement, grading and landscaping. In the townsite and close to buildings, vehicles should be controlled in a more urban fashion by the use of concrete curbs
- accommodation must be made for visiting R.V.'s. Ease of access and turn around must be given to these vehicles. Locations of R.V. parking should be near the town centre to allow for easy pedestrian access

## .5 Landscape

### Vegetation Retention

- as outlined in the Site Planning Section, existing vegetation in new developments to be retained where possible
- the landscape grading should clearly demonstrate how existing vegetation is to be retained. The landscape design should also be sympathetic to integrating the existing features into the site plan
- destruction of existing vegetation in natural areas adjacent to private development is not acceptable. Construction practices should flag all vegetation to remain and set up barriers at the perimeter of tree roots to prevent any excavation or vehicle compaction in preserved areas

### Garden City Landscape

- in the historic urban areas of the town, the landscape design should enhance the "garden city" planning tradition. More creative and ornamental gardens are encouraged in these areas, especially around buildings and in the front yards of the garden city streets
- continuous street tree planting and boulevard landscape conforming to the overall landscape framework and town atmosphere image will be the responsibility of the developer
- the selection and arrangement of landscape materials to provide visual interest by the effective use of such design elements as colour, texture, variety and size differentiation



# 4.1 Landmarks

## Natural Areas

- the surrounding natural areas of the townsite should extend into the urban areas. Landscape areas beyond the buildings and urban core should blend into the character of the natural environment
- trees and shrubs should be planted in natural groupings. Planting in straight lines or equal spacing should be avoided
- the landscape design plant selection should acknowledge the growing conditions for this climactic zone and the unique requirements that its specific site location makes upon plant selection (ie, temperature fluctuation, wind and wind exposure, soil condition, light, shade, etc.)
- all disturbed areas to be rehabilitated with plant material indigenous to the region. A mix of vegetation associations in rehabilitation and planting plans is desirable to improve wildlife habitat and bio-diversity
- native grasses should be encouraged to grow in all areas. Where appropriate, maintained grass can be used in high-use areas, however, these areas should be kept to a minimum. The edge between maintained grass and native grass should be natural and informal as opposed to straight

## Screening

- the landscape design should successfully delineate and separate use areas, where it is desirable to do so.
- plant materials serve as aesthetic elements, buffer strips, screens and dividers. The views of buildings from transportation corridors should be partially screened. Views of unsightly services such as garbage bins should be well screened, but accessible, and the entire development should complement and fit into the surrounding natural environment.

## Landscape Establishment

- greater consideration should be given to appropriate horticultural techniques to improve the rate of success in establishing new landscape plantings.
- employ good horticultural techniques in planting and provide ample planting soil mix for root development.
- provide adequate irrigation and ongoing maintenance to ensure plant survival and development, especially during the first year after installation.
- in areas of high wind, provide protection from windburn in winter months.
- in areas where animal feeding is frequent, provide temporary fencing to protect smaller younger plants from damage during the winter months.
- planting should be placed in such a manner to prevent damage from snow removal equipment and damage from snow slides off the roofs.

## .6 Public Amenities

### General Design

- the design of public amenities is to conform to the general principle to build a strong relationship between the historic past of Nordegg and the design of new facilities for the town
- examples of the public amenity landmarks consist of lighting, signage and street furniture. Their aesthetic is influenced by the rugged vernacular of the mine building and trestle bridge construction, which exist in the area. The Landmarks become a combination of concrete piers, heavy wood timbers, bolted steel connections, and steel bracing. Design examples of these amenities on the following pages illustrate how landmark framework can evolve for Nordegg
- demonstrate a pride in design and craftsmanship. Whether it is a building facade or a bench armrest, good detailing follows from an understanding of the use and nature of material with design ingenuity
- be creative, imaginative and inventive. The combination of individualism and historic Nordegg will create a varied and unique town identity for the public spaces

## Gateways and Entrance Signs

- highway information signage should be a consistent and uniform sign package that introduces the traveller to the historic identity of Nordegg
- entry signs should announce the town or individual developments with same historic design theme and material components

## Directional Signage

- access road commercial signage will allow one information sign per business site. The sign must conform to the standard design and size as developed by the Town

## Arterial Commercial Signage

- one sign will be allowed per business site
- signs may be located as freestanding individual signs or be placed on the exterior of the building surface. If a freestanding sign is used, the County Saff - through the Design Review Process - must approve its location and the location must have a clear relationship between the sign and the building
- the sign display area may not exceed 1.8m2. The freestanding sign height may not exceed 1.8m above ground level
- signs shall be constructed of wood and/or metal. Sign base shall be constructed of concrete and/or stone. Sign to be integrated with the building design and site development

## All Commercial Signage

- signs to be in scale with the building it serves and the service it renders. Building signs as per Architectural Guidelines.
- signs to be unique to the character of historic Nordegg. Materials to be integrated with the building materials.
- signs may be front lit with an incandescent, historical character light fixture.
- the following shall not be permitted:
  - signs constructed of any plastic materials
  - backlit plastic signs
  - signs that have moving parts, colored blinking or flashing lights or neon tubing. Non-digital clocks shall be permitted
  - bare or unshielded light bulbs used to illuminate signs
  - exposed wiring or electrical junction boxes for illumination of any sign
  - signs that, due to their location or design, create a hazard for pedestrian or automobile traffic
  - signs that create glare or nuisance light to surrounding properties
  - temporary, portable signs

## Lighting

- all development proposals should include exterior lighting as part of the design submission. An excessive amount of lighting detracts from the village and mountain valley setting
- lighting must be at an appropriate scale. The intensity, direction and type of illumination should be appropriate to the small town mountain setting. To protect the exterior night views, all outdoor fixtures to provide down lighting only with a light source shielded from views
- street lighting to be consistent with the standard Nordegg design

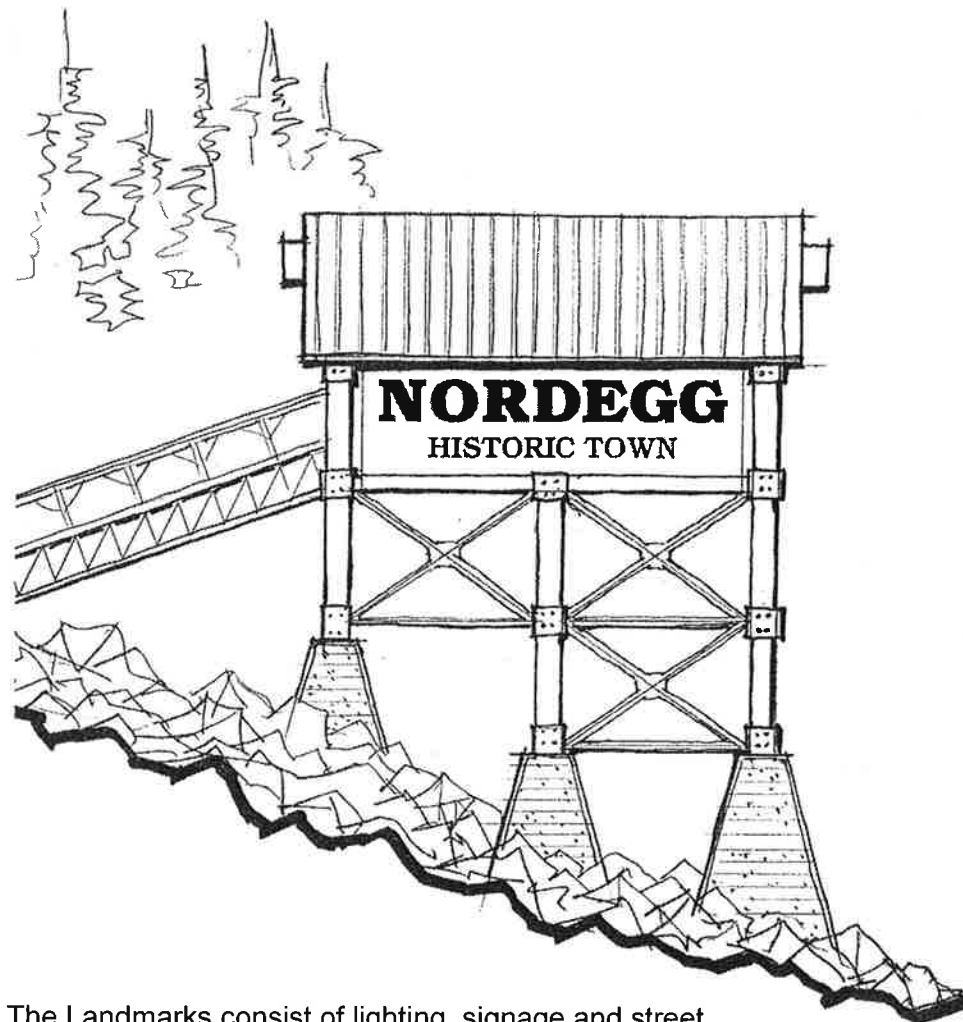
## Site Furnishings

- all retaining walls to be constructed of local stone
- all benches, information shelters, etc. to be constructed of concrete base, heavy timber components and bolted steel connections

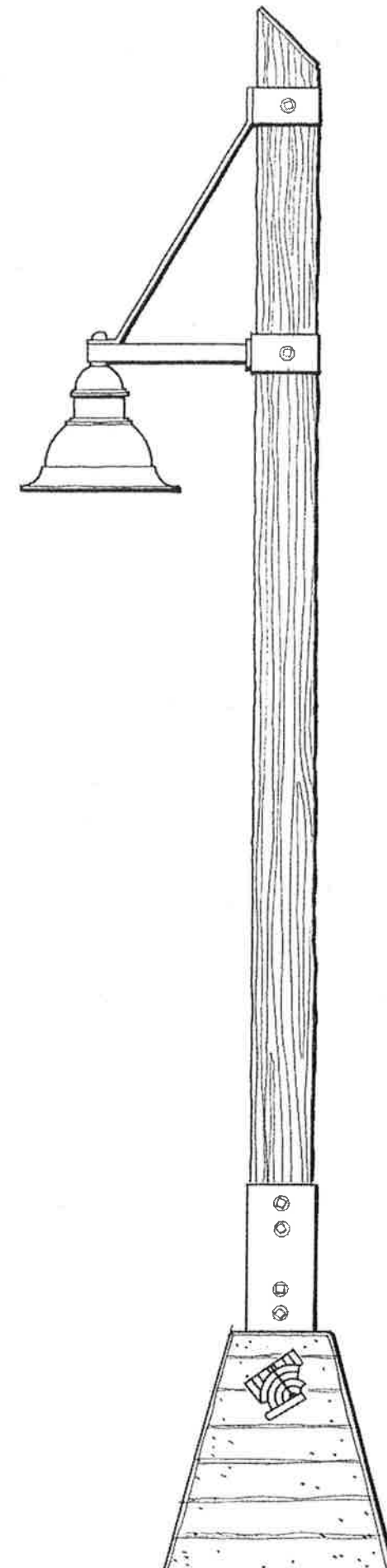
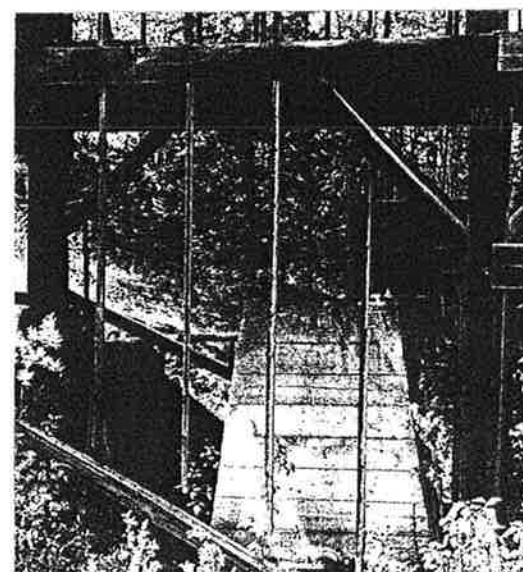
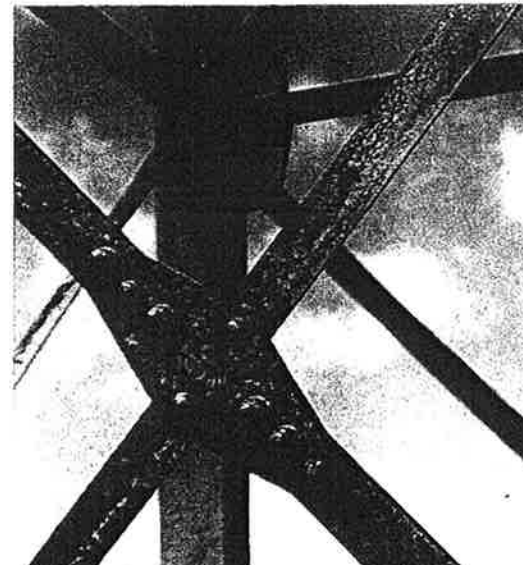


# 4.1 Landmarks

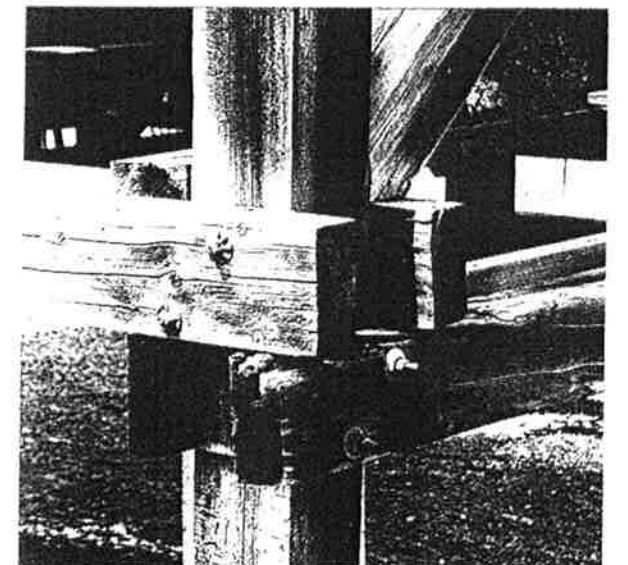
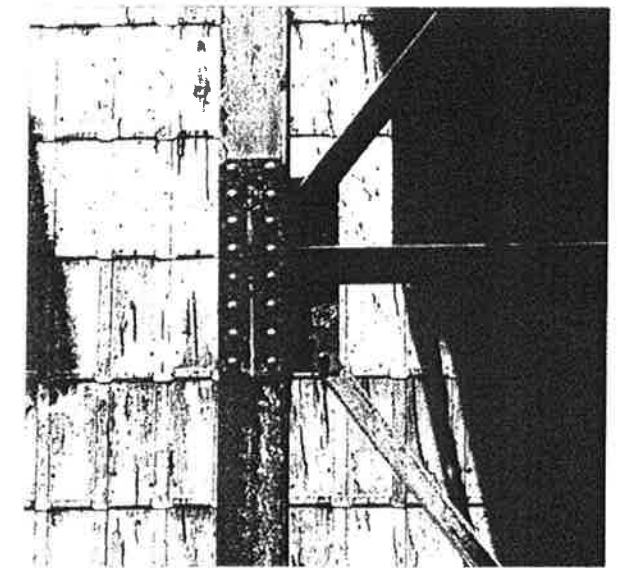
## Design Concept



The Landmarks consist of lighting, signage and street furniture. Their aesthetic is influenced by the rugged vernacular of the mine building and tressle bridge construction which exists in the area. The Landmarks become a combination of concrete piers, heavy wood timbers, bolted steel connections, and steel bracing.

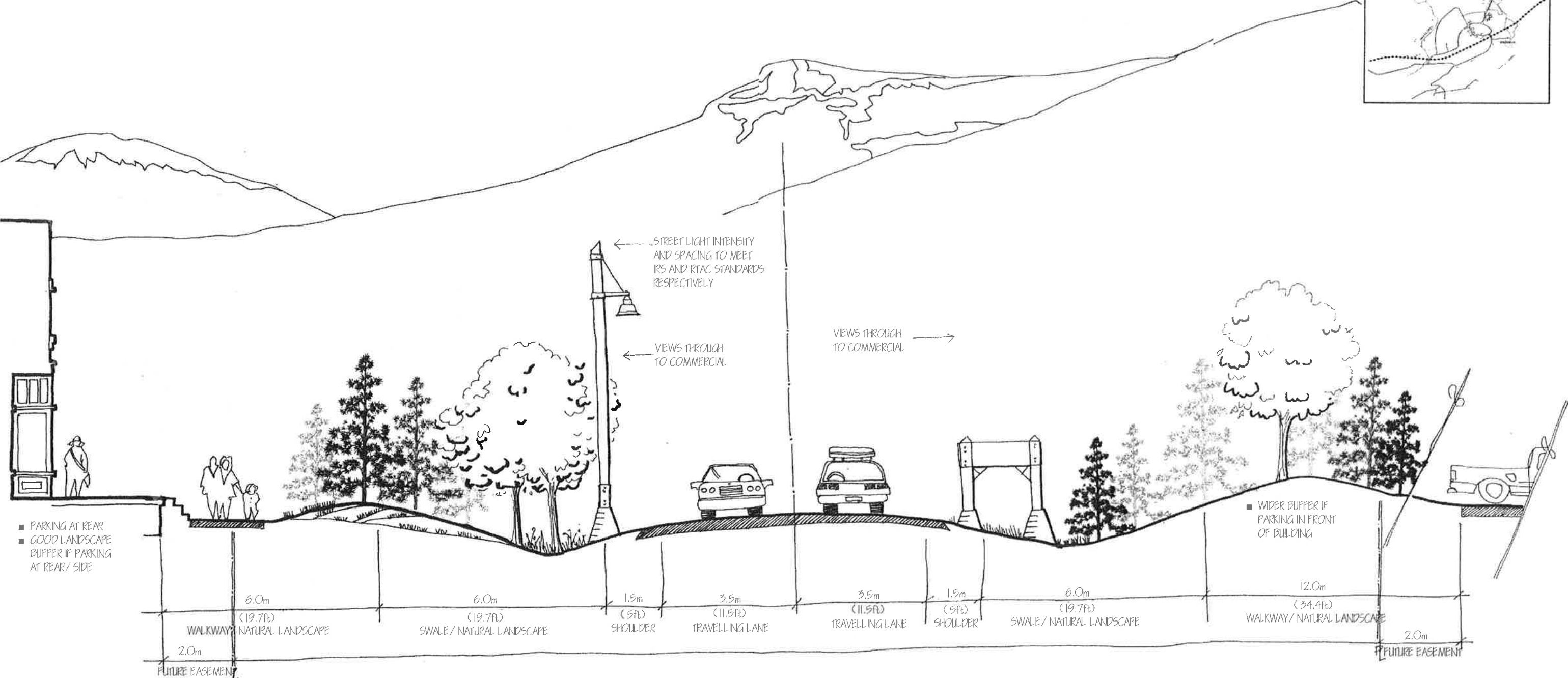
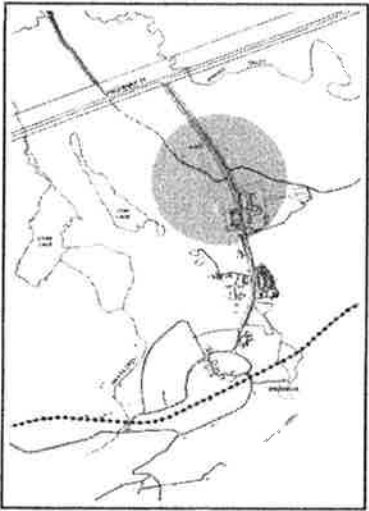


Example - Streetlight

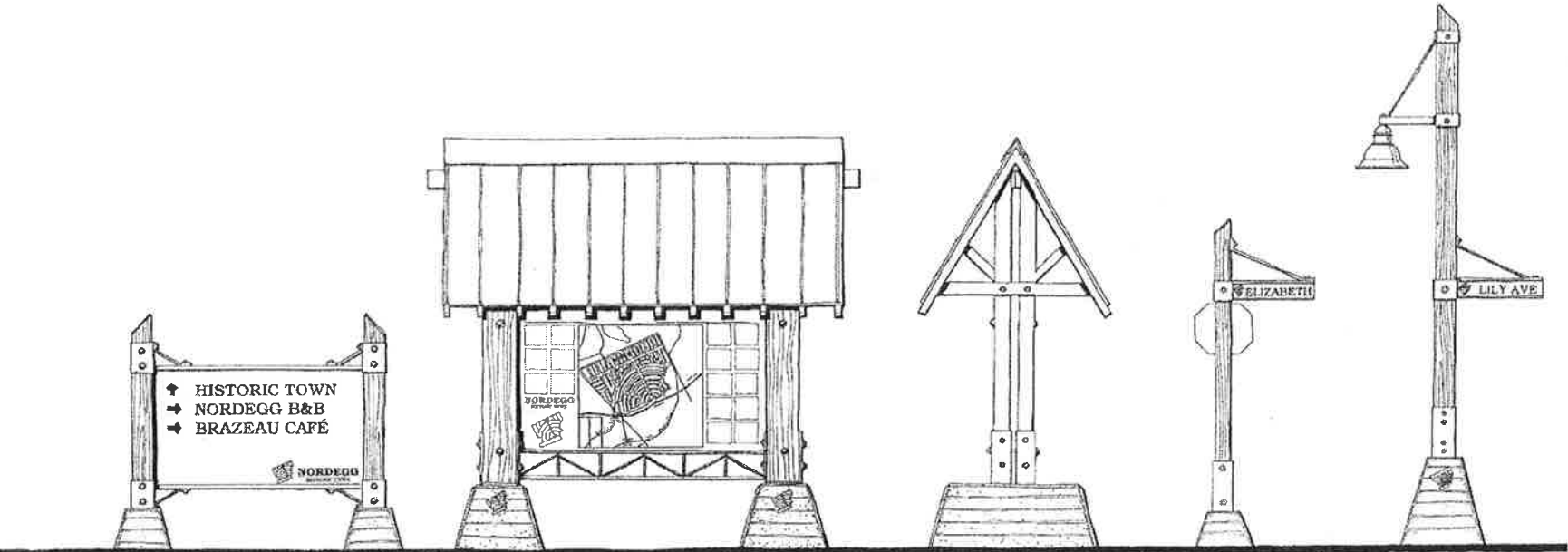
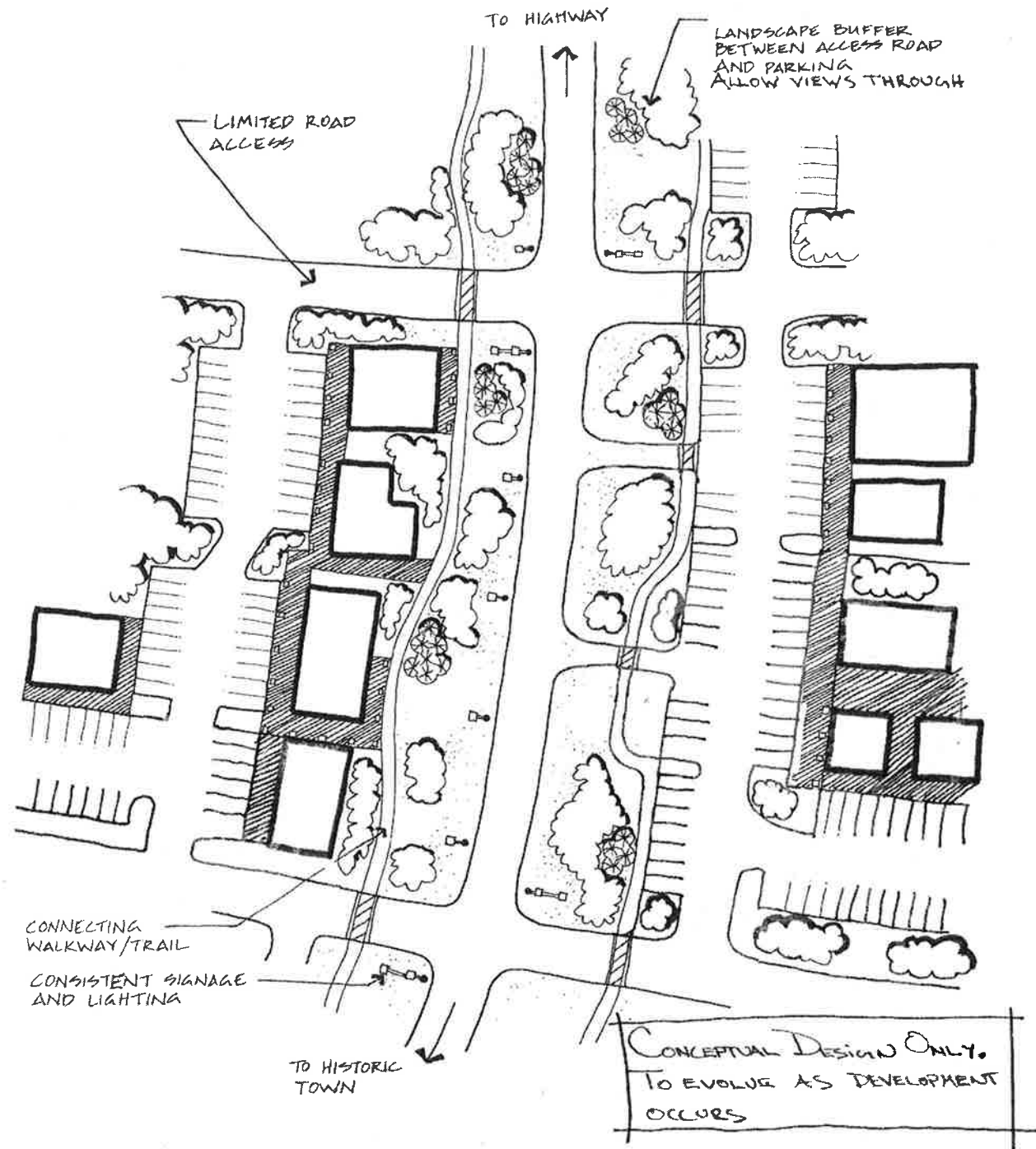


# 4.1 Landmarks

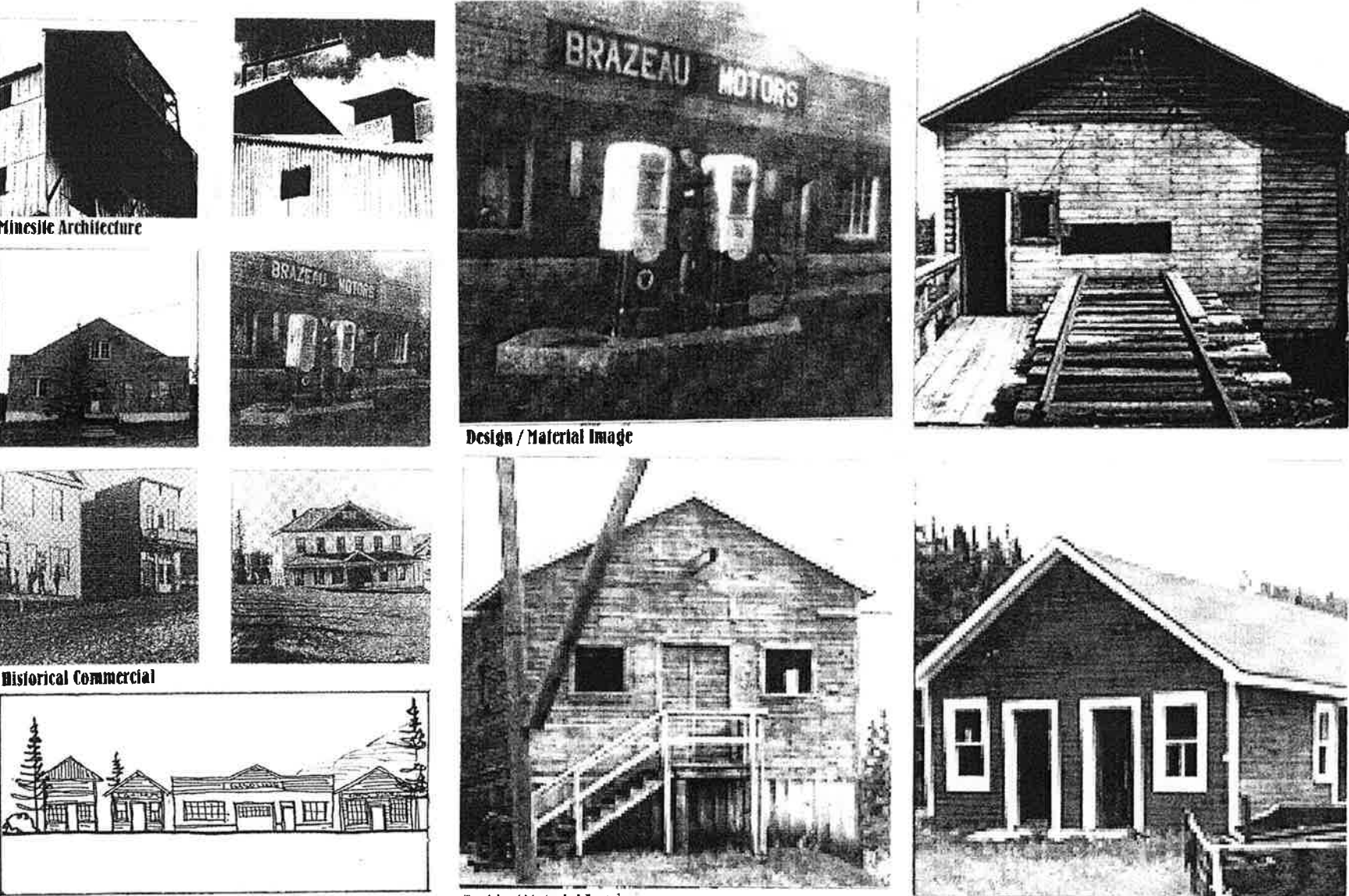
## General Guidelines



# 4.2 Arterial Area General Guidelines



Streetscape Components



Streetscape Elevation

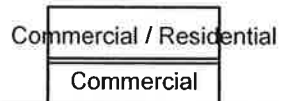
Design / Material Image

# 4.2 Arterial Area

## Detail Guidelines - Site Development

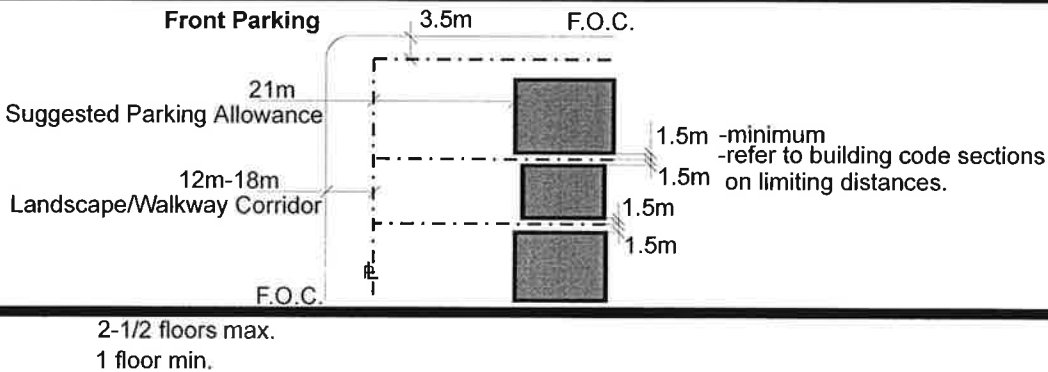
### Building Use

- Uses of the buildings shall be commercial, hotel/resort, or upper level residential.



### Building Placement

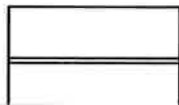
- Buildings shall be set on lots relative to the property lines as shown here except where special build-to-lines are shown on the regulating plan.



### Building Height

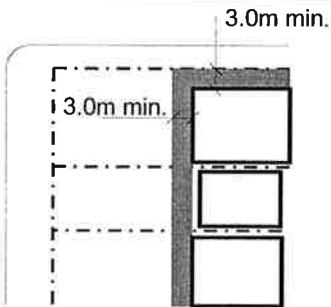
- Heights shall be measured from the lot's average grade elevation to the specified point on the building.
- Minimum and maximum building heights shall be measured in numbers of floors. Each floor is not to exceed 3m floor to ceiling.

2-1/2 floors max.  
1 floor min.



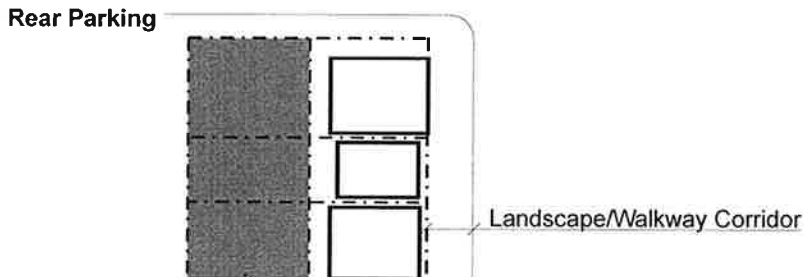
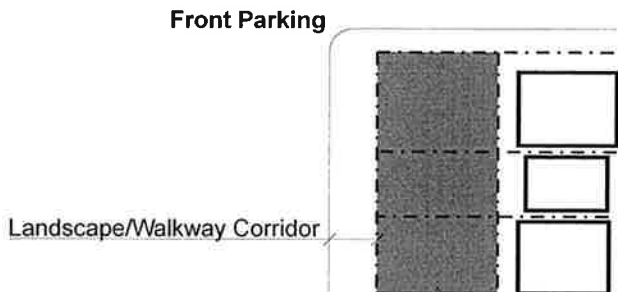
### Permitted Encroachment

- Boardwalks required. Boardwalks must be on front and open sides. Boardwalks between buildings are at the discretion of the developer.
- Consult the Development Plan and Land Use Plan for specific requirements.



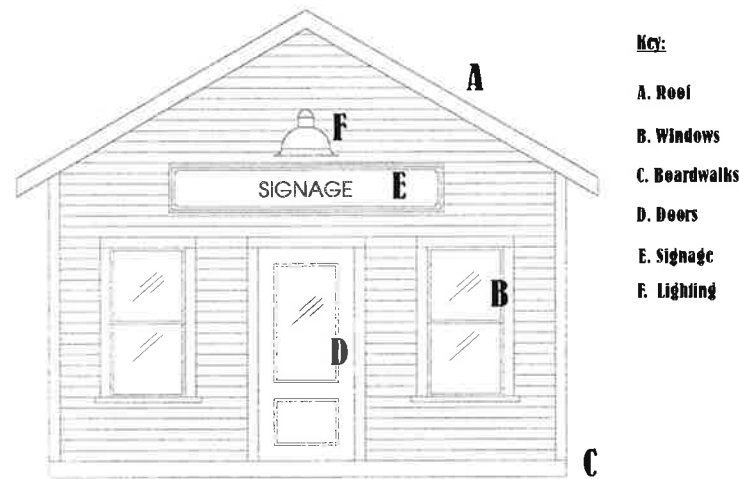
### Parking/Landscaping

- Parking spaces shall be provided within spaces shown.
- Commercial parking will adhere to Land Use Bylaws.
- Scale of lots (more smaller vs. few larger)
- Provide internal landscaping.
- Provide adequate buffering from street and other uses via appropriate landscaping.
- Continuous natural landscape buffer including connecting walkway, landmark signage, and lighting shall be contained within the 12m-18m naturally landscaped setback.
- All garbage container areas shall be screened and placed away from pedestrian usage areas.



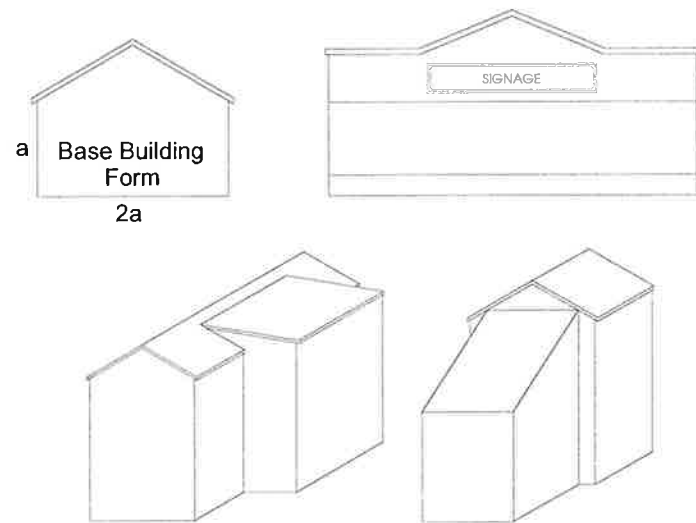
# 4.2 Arterial Area

## Detail Guidelines - Buildings



### Building Form:

Buildings are simple gable roofed forms. Shed roofed additions may be added to the back or sides as extra space is required. Peaked false fronts may be added to wider buildings as per diagram. On buildings with false fronts, the facade should be divided into horizontal bands (see Brazeau motors photo) in order to break up the facade. These bands consist of a lower "plinth" band, a mid-range band, and an upper band in which signage is located.



Nordegg Design Guidelines

Key:

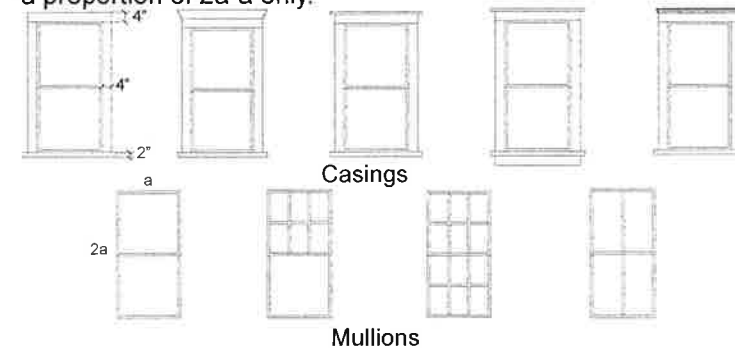
- A. Roof
- B. Windows
- C. Boardwalks
- D. Doors
- E. Signage
- F. Lighting

### A. Roof:

Typically a 6:12 pitch on gabled roofs and 3.5:12 on shed roofs. Materials are to be fire retardant cut wood shingles, unfinished galvanized metal standing seam, or asphalt shingles similar to IKO Chateau-Driftwood. Minimal overhangs of 6"-1'. All roof vents and mechanical are to be hidden from view.

### B. Windows:

Wood or vinyl double-hung windows-All mullions are to be painted or stained wood or white vinyl and be on the exterior of the glazing both inside and outside. Exterior framing is to be painted wood or white vinyl. Double-hung windows are to have a proportion of 2a-a only.



Large display windows may also be used. These windows have the same characteristics of the windows above but are much larger. See Historic Commercial Core Detail Guidelines.

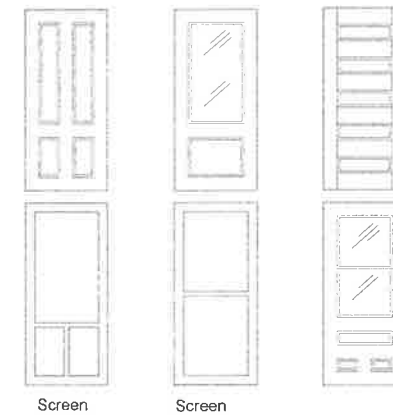
### C. Boardwalk:

A boardwalk surrounds the commercial area. It may be covered or uncovered. Refer to the Downtown Boardwalk guidelines for details.

Where hard surfacing is required, patterned concrete will not be accepted.

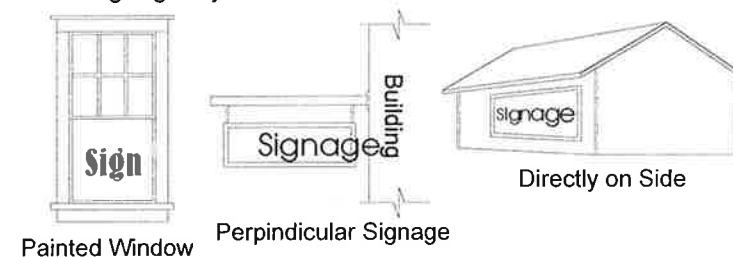
### D. Doors:

Doors should be simple, stained or painted wood or painted metal to match or complement window colors. Transoms above the door are permitted.



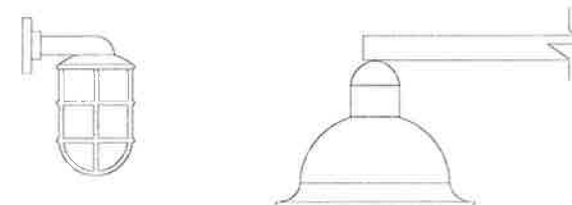
### E. Signage:

Signage can be painted or mounted directly onto the front or side of the building. Signage may also be perpendicular to the building or painted on the windows. Signage may not be back lit. Signage may be front lit by incandescent sources whose character is in keeping with the industrial mine theme. Fonts and signage styles are to be of an "old-west" historical nature.



### F. Lighting:

Wall mounted and wooden post mounted fixtures in keeping with the mine aesthetic.



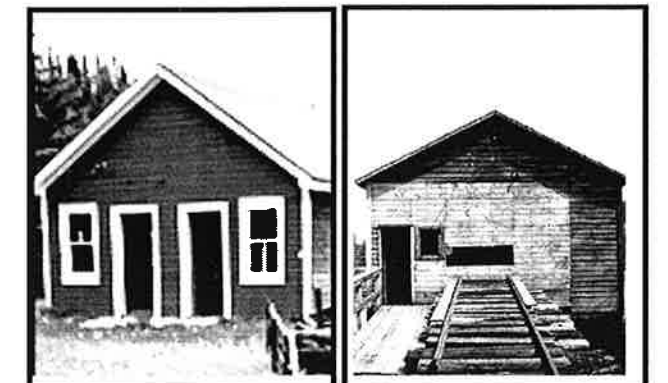
### General:

The design intention of the arterial commercial area is to evoke the essence of the historic wooden buildings which existed at the mine site. As well, the aesthetic of the old Brazeau Motors garage is called upon as its building typology is consistent with the type of service related uses which will exist in this area.

#### Siding Materials:

- 4-5" Horizontal Wood Siding - stained/painted - to match colour board - Appendix A
- Alternative siding materials and treatments may be considered based on a demonstration of appropriateness and compatibility by the applicant, and subject to approval through the Design Review Process. Materials should match the colour board in Appendix A
- Corrugated Galvanized Metal - 30% of total finished surface coverage allowed
- Brick - to match Estevan Brick "Williamsburg"
- Stamped Metal Siding - 30% of total finished surface coverage allowed

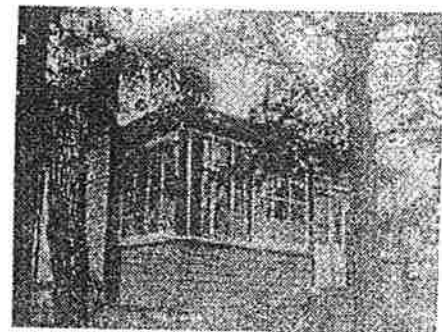
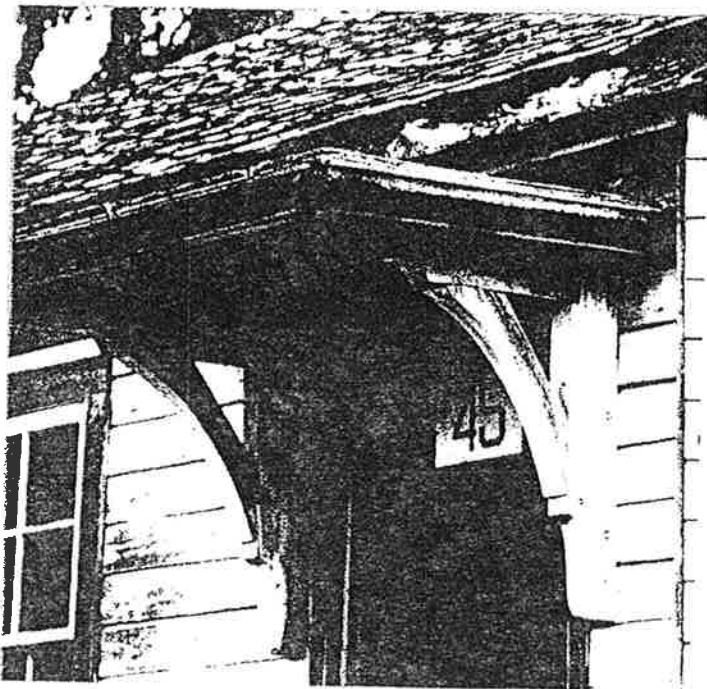
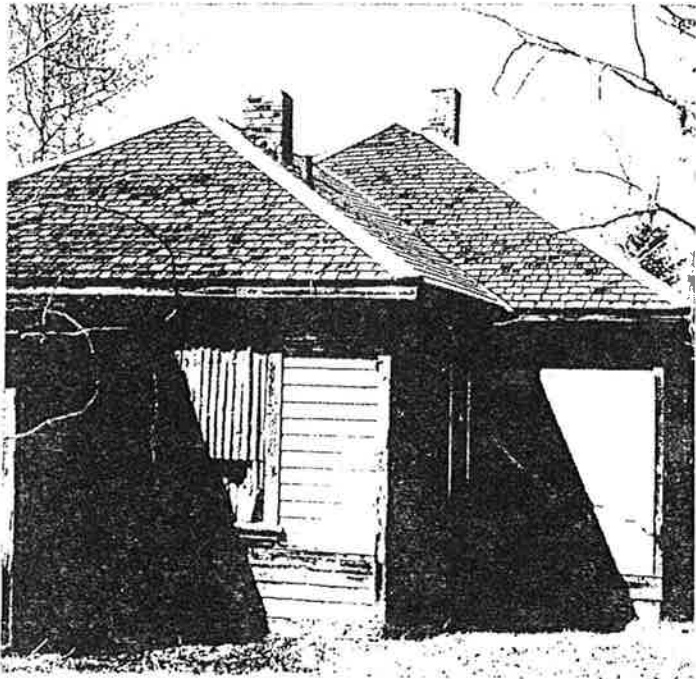
**Colours:** Because these are commercial buildings located on an arterial road, visibility is a major issue. Bold colours were chosen to allow for this. The colours chosen also work well with the historic mine aesthetic.



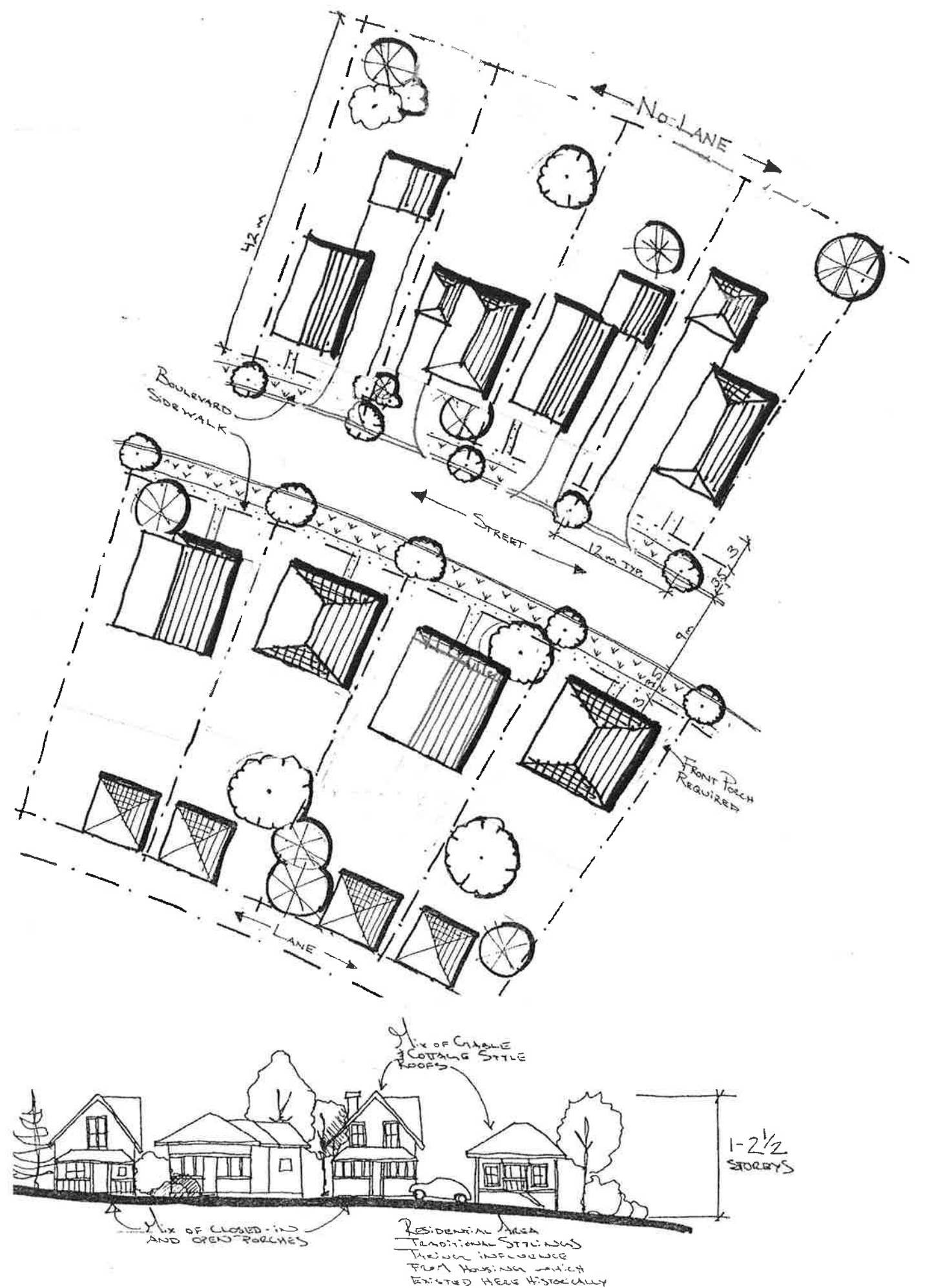
Brazeau Motors

## 4.3 Historic Residential Areas

### General Guidelines

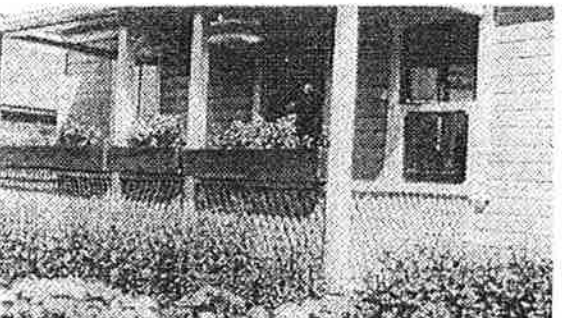
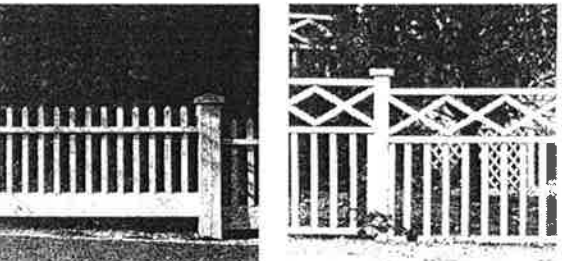
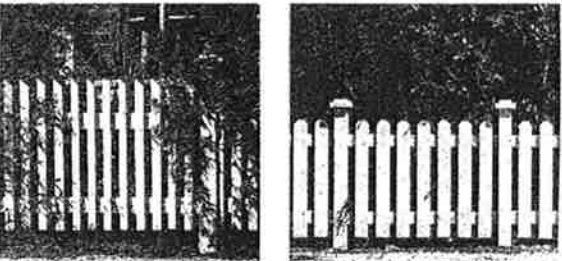
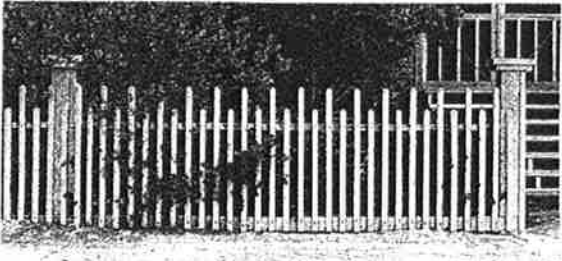
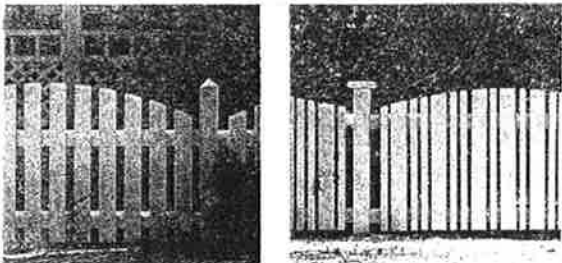
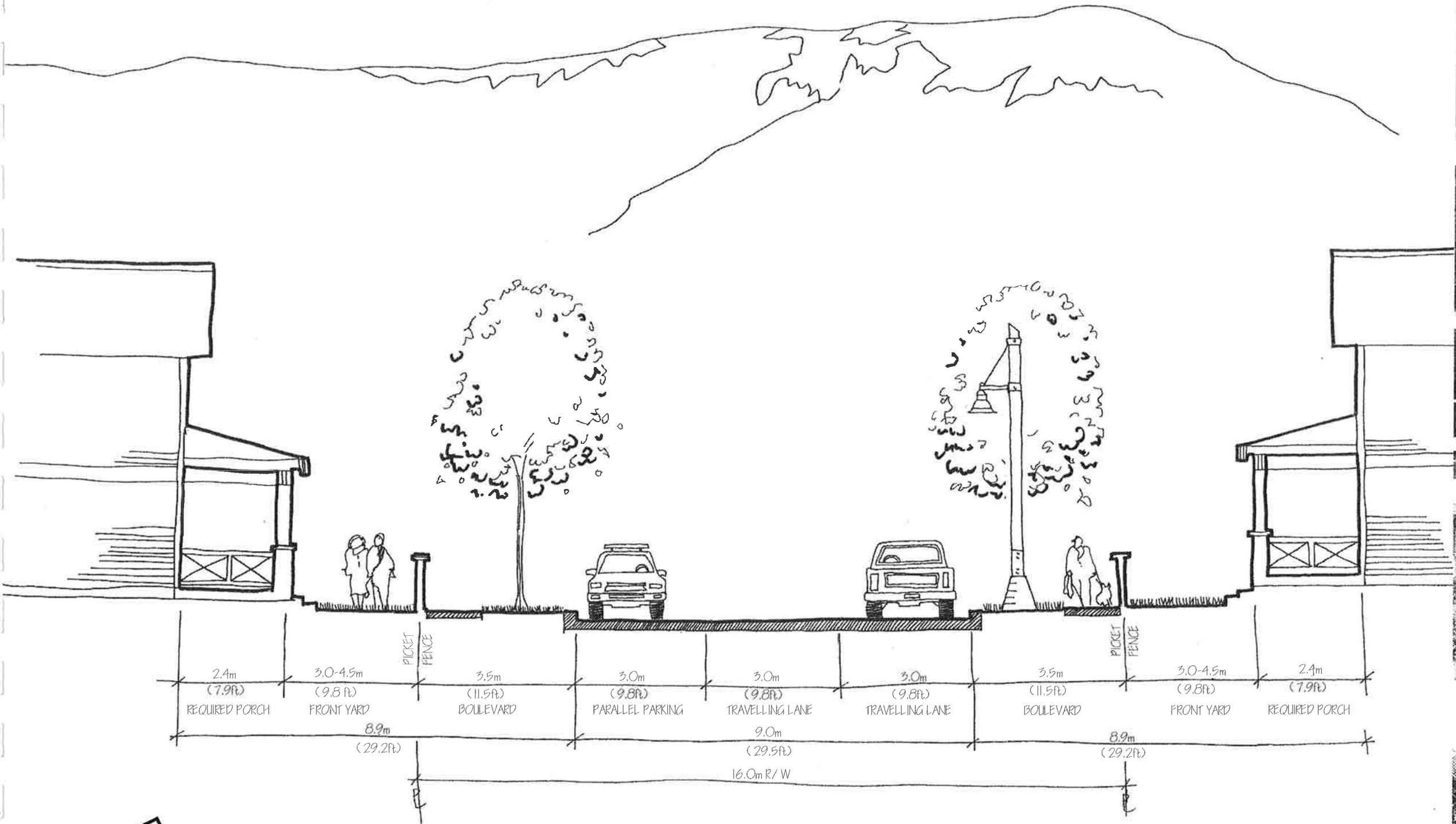


Nordegg Design Guidelines



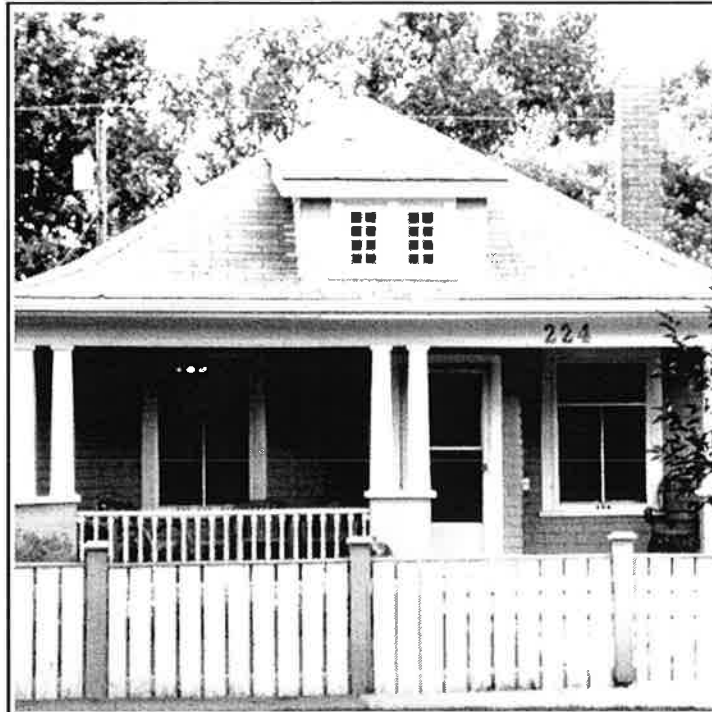
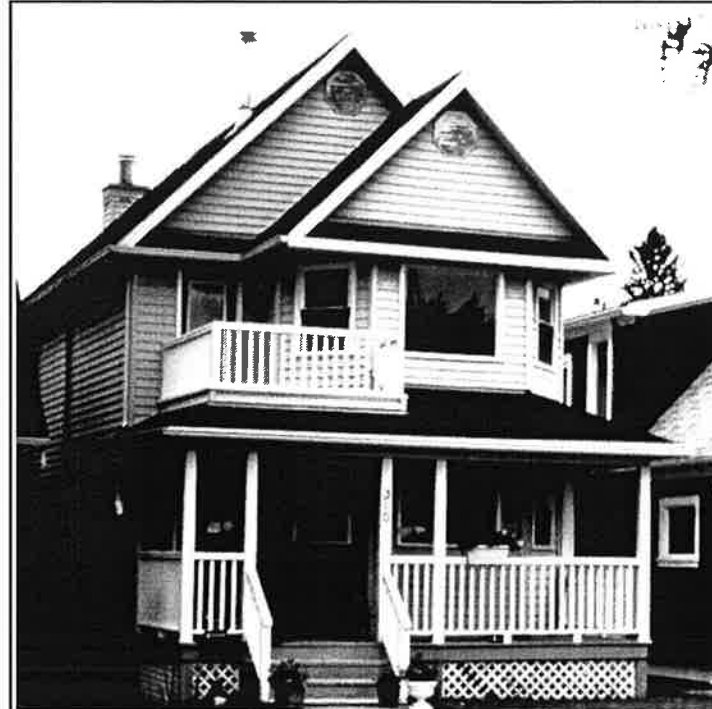
# 4.3 Historic Residential Areas

## General Guidelines



## 4.3 Historic Residential Areas

### Detail Guidelines - Image Photos

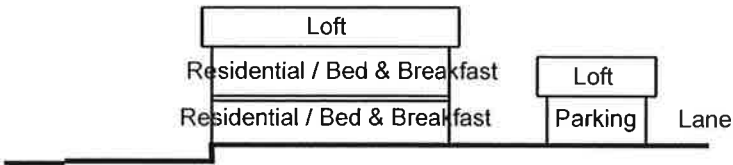


# 4.3 Historic Residential Areas

## Detail Guidelines - Site Development

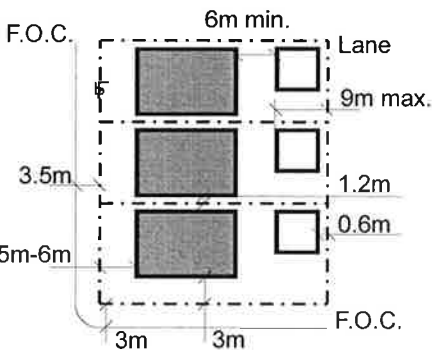
### Building Use

1. Uses of the buildings shall be as shown here.
2. The following additional uses are permitted for out-buildings; personal workshop, guest cottage, artist studio, equipment enclosure, gazebo, conservatory, greenhouse.

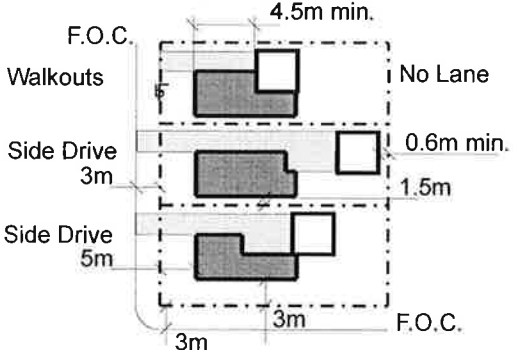


### Building Placement

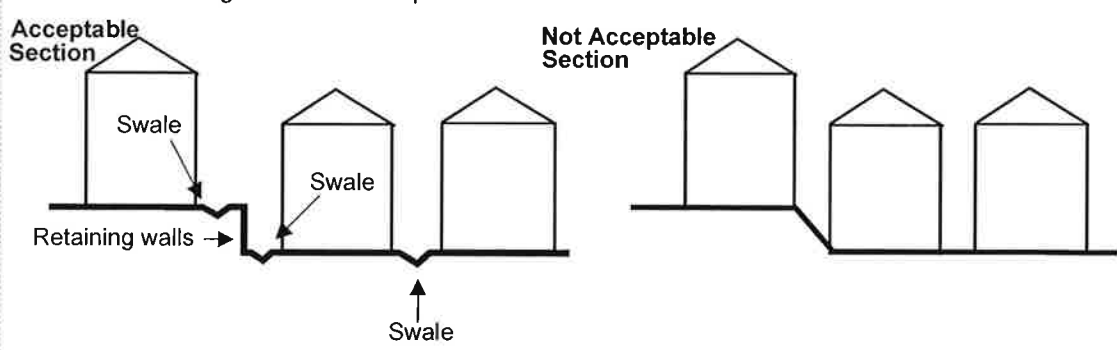
1. Buildings shall be set on lots relative to the property lines as shown here except where special build-to-lines are shown on the regulating plan.
2. No two similar elevations or colors shall be within 4 properties of one another on the same side of the street nor across the street.
3. House front entry must be facing street.
4. Landmark lighting, benches, and trees shall be located within 3.5m boulevard.
5. Garages may be attached to rear of buildings.
6. Garages may only be attached to the side of a building if it is a walkout.



\* Note: This detail only for lots with no lane access

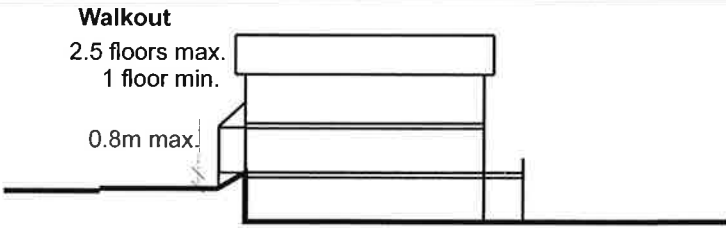
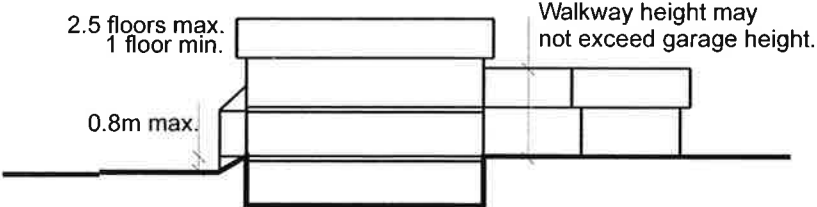


\* Note: Lot drainage varies on site specific basis



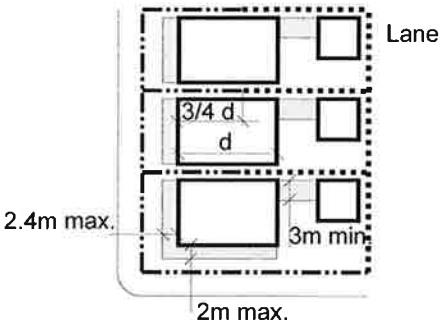
### Building Height

1. Heights shall be measured from the lot's average grade elevation to the specified point on the building.
2. Minimum and maximum building heights shall be measured in numbers of floors. Each floor is not to exceed 2.7m floor to ceiling.
3. Houses on corner lots to be less than 2 storeys.



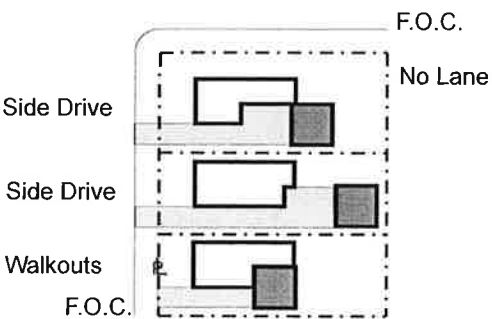
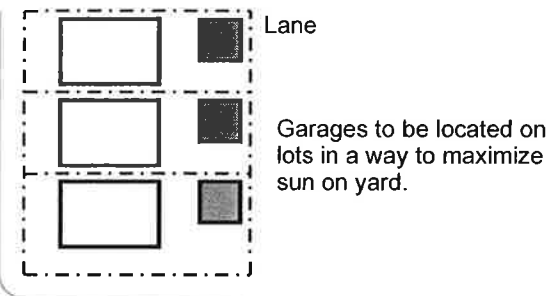
### Permitted Encroachment

1. Porches are required in the front. Balconies, stoops, bay windows, covered walkways, stairs, handicapped ramps, and window wells shall be permitted within this area.
2. Picket fence shall be mandatory as shown here. 1.5m (5') board privacy fence would be permitted as shown here.
3. Rear picket fence would be allowed on lots backing onto pond or park. No solid high wood fences backing onto pond or park. No chain link fences allowed anywhere.



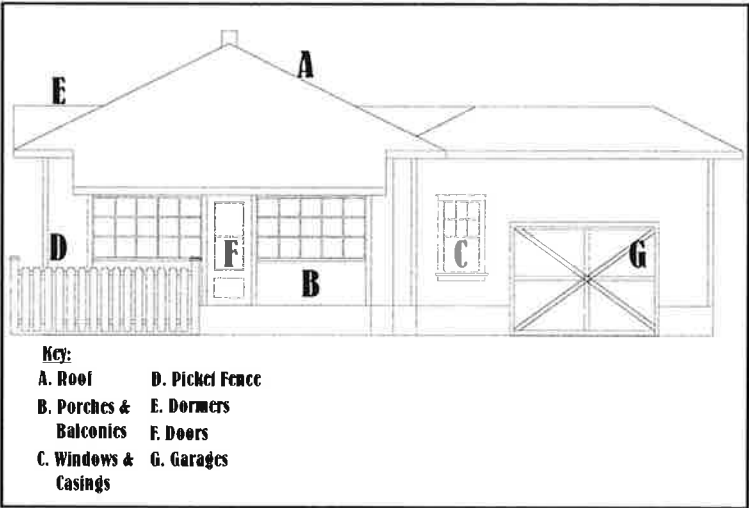
### Parking

1. Parking spaces shall be provided within areas shown.
2. Private parking spaces shall be no less than 2.5mx5.5m.
3. Trash containers shall be located within lane right-of-way or inside garage.
4. One parking space required where net residential area is 90m2 or less. Two if greater than 90m2.
5. If lane exists, then garage in back. No side drive.
6. No parking on front yard.



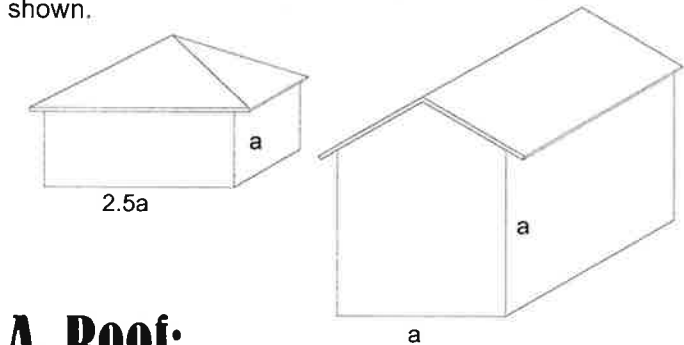
# 4.3 Historic Residential Areas

## Detail Guidlines - Buildings



### Building Form:

Basic building forms include a one storey cottage roof style and a two storey gabled end. From these basic forms, dormers, porches, balconies, and side additions, may be added. Large buildings and massive forms should be broken down into smaller units. The design may include jogs in the building footprint, off-set building walls and articulated roof ridgeline. Proportions should stay within the parameters shown.



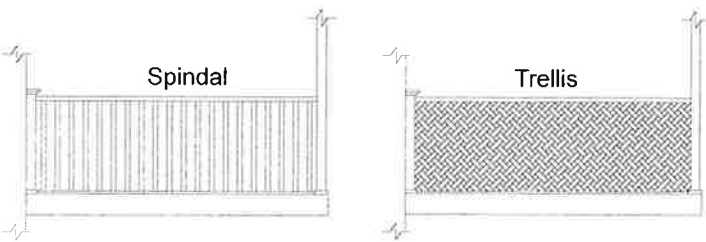
### A. Roof:

Roofs should be sloped. The pitch of the roof may vary. Flat and shallow-pitched roofs are not appropriate. Appropriate sloping roof forms include gable roofs, hip roofs and variations on the same. Mansard, gambrel, butterfly and round roofs are not appropriate. Basic roof slope is between 4:12 and 12:12. Roofing is to be either fire retardant cut wood shingles, or asphalt shingles similar to IKO Chateau-Driftwood. Chimneys shall be masonry. Overhangs are to be 2'. Any skylights are to be flat.



### B. Porches & Balconies:

All houses require a front porch. Porches may be open or closed. Porch rails and posts are to be simple in their detailing as per balcony railing details found in Historic Commercial Core Detail Guidelines - Boardwalk.

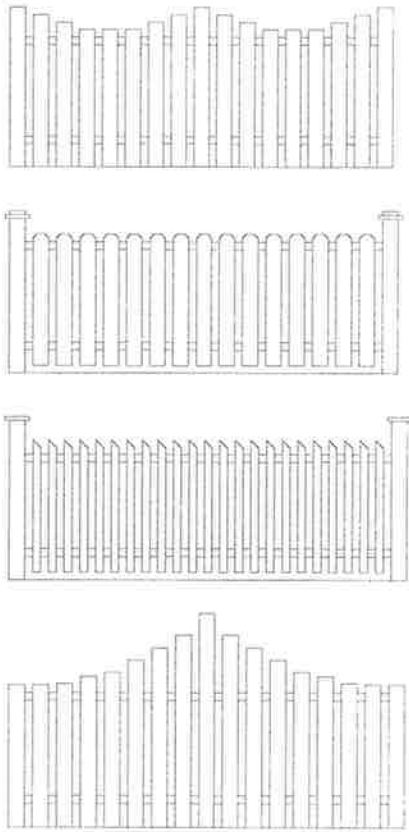


### C. Windows & Casings:

As per commercial buildings.

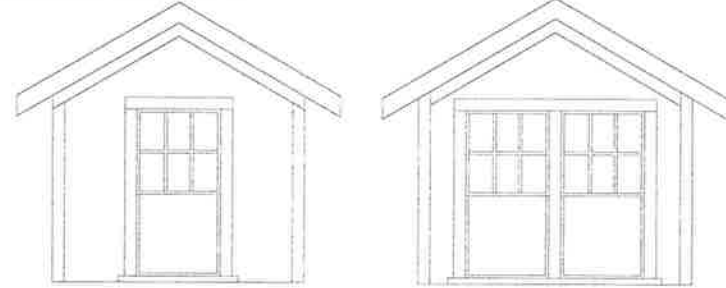
### D. Picket Fence:

A picket fence is required on all properties within historic residential areas. Picket fences should be white, made up of vertical members between 2"-4" wide and a required min. height of 3' to 4'. Spacing between pickets shall be minimum 2" to 2-1/2". Within this constraint, styles may vary.



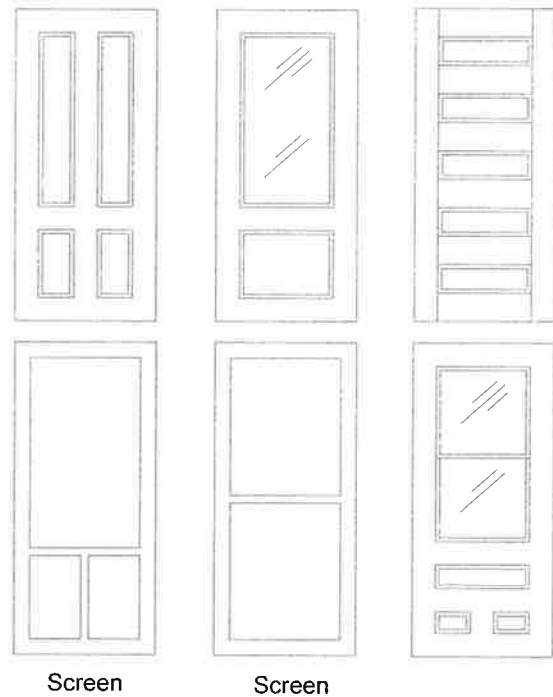
### E. Dormers:

Dormers may be located on the front or sides of cottage roofed houses. Dormers may be located on the sides of gable end houses. Dormers may house either one or two windows. Dormers may be finished in either cut wood shingles, 4" horizontal painted cedar siding, or 4" vertical painted cedar siding.



### F. Doors:

Door styles should be simple. Screen doors shall be painted wood frame or metal.



### G. Garages:

The above applies to garages and outbuildings. Typically garages are located in the backyard opening onto the back lane. In some cases, due to topography, it may be necessary to locate garages opening to the front street. In this case, the garage shall be set back from the facade of the house a minimum of 4.5m. The doors of these front opening garages shall be stained or painted wood or metal.

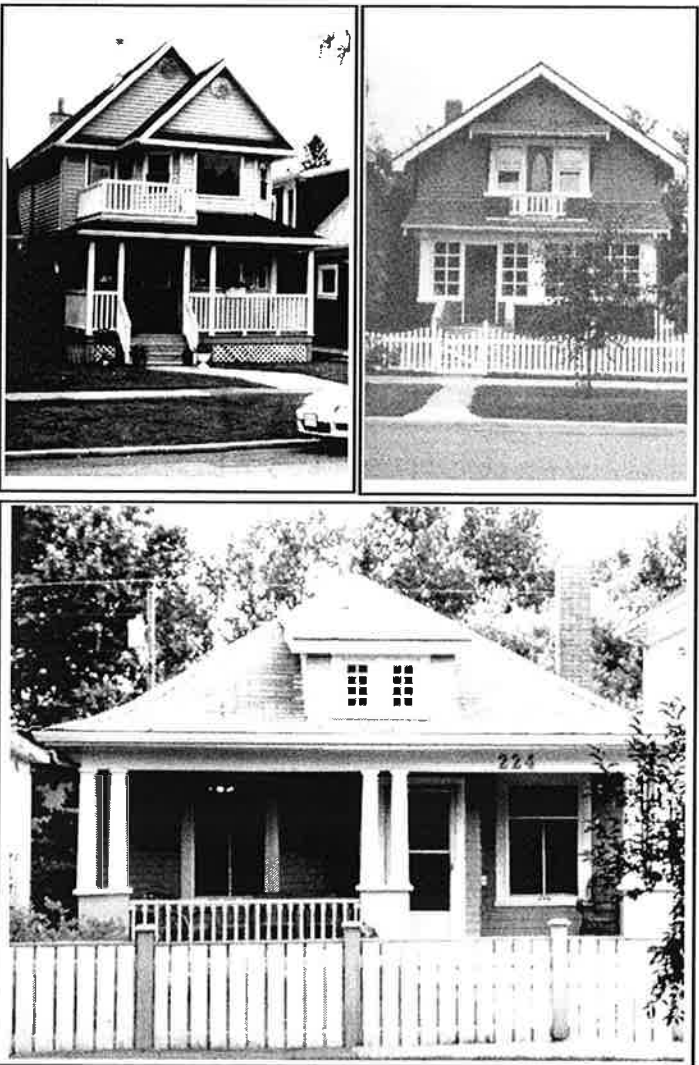
### General:

The housing style and detailing in the residential area is modeled after the original houses which were present circa 1915. These houses were characterized by their painted cedar 4-5" siding, front porches, and cottage or gabled roofs.

#### Siding Materials:

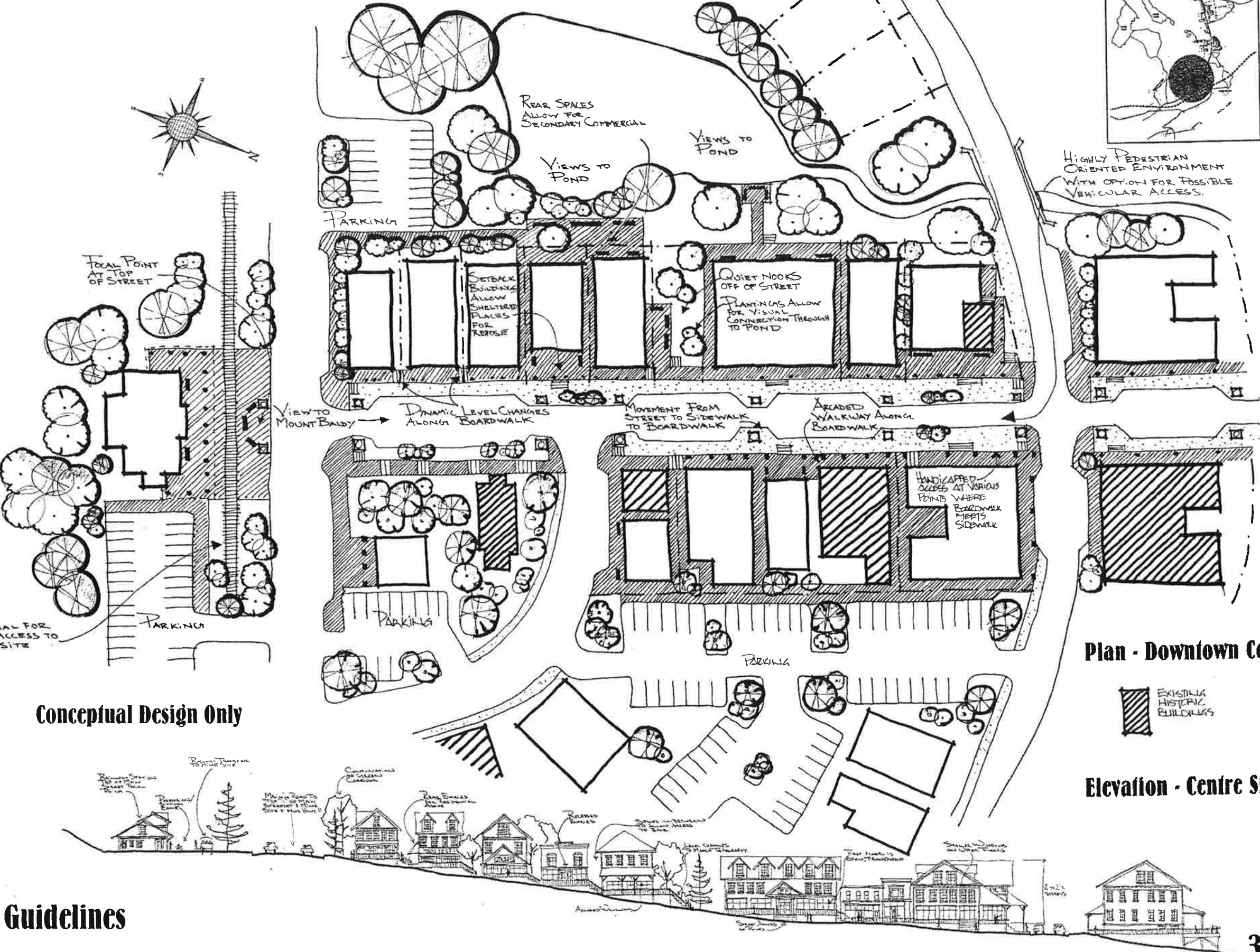
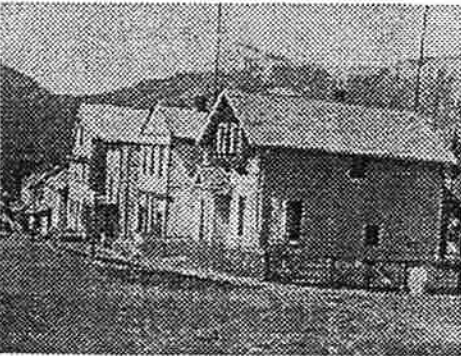
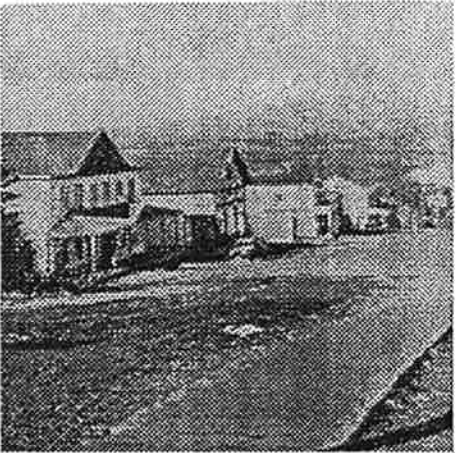
- 4-5" Horizontal Wood Siding - stained/painted to match colour board - Appendix A
- Alternative siding materials and treatments may be considered based on a demonstration of appropriateness and compatibility by the applicant, and subject to approval through the Design Review Process. Materials should match the colour board in Appendix A

**Colours:** The colours referenced in Appendix A are chosen on the merits of their interchangeability and historic aesthetic.



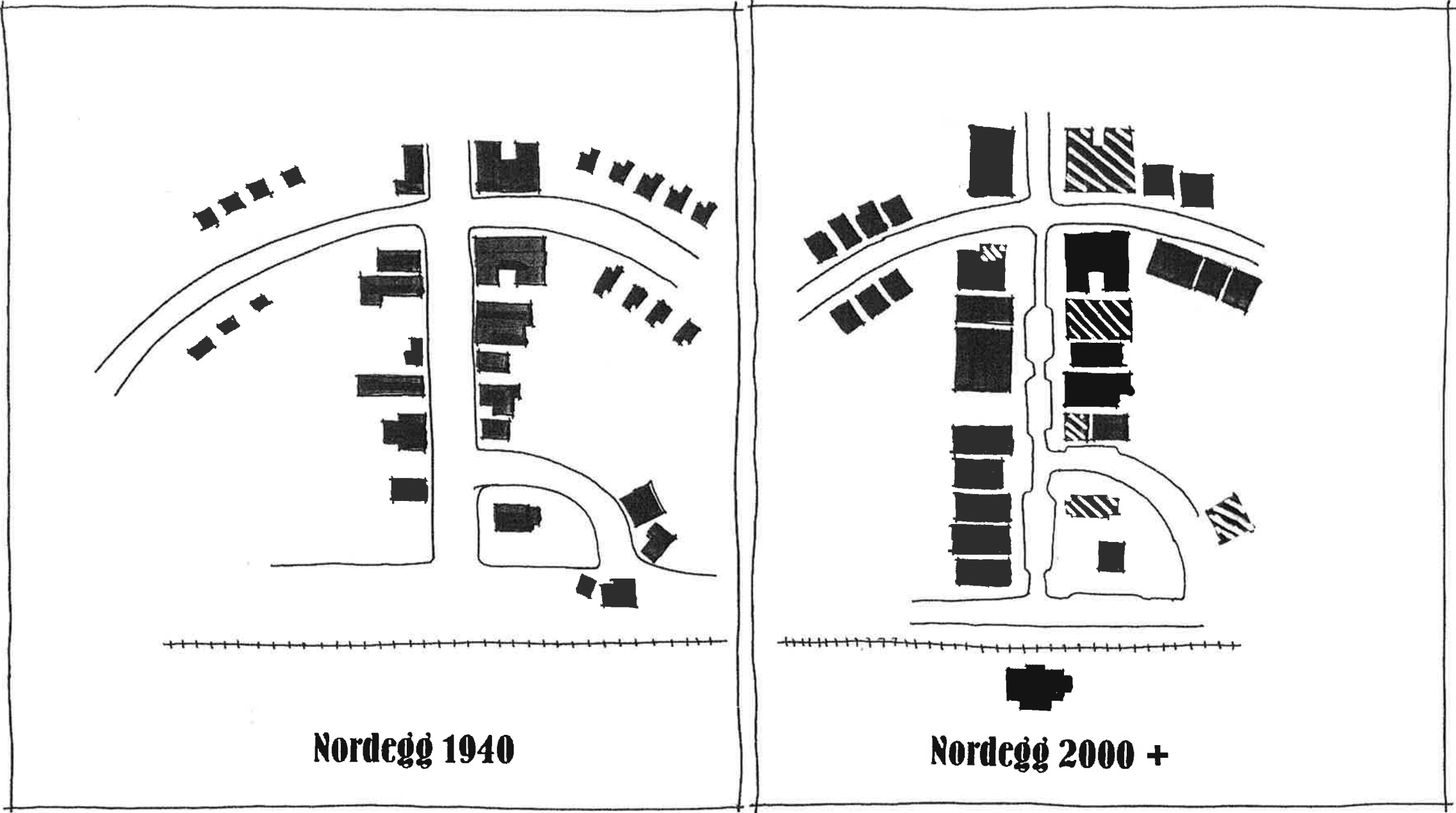
# 4.4 Historic Commercial Core

## General Guidelines




# 4.4 Historic Commercial Core

## Development Density



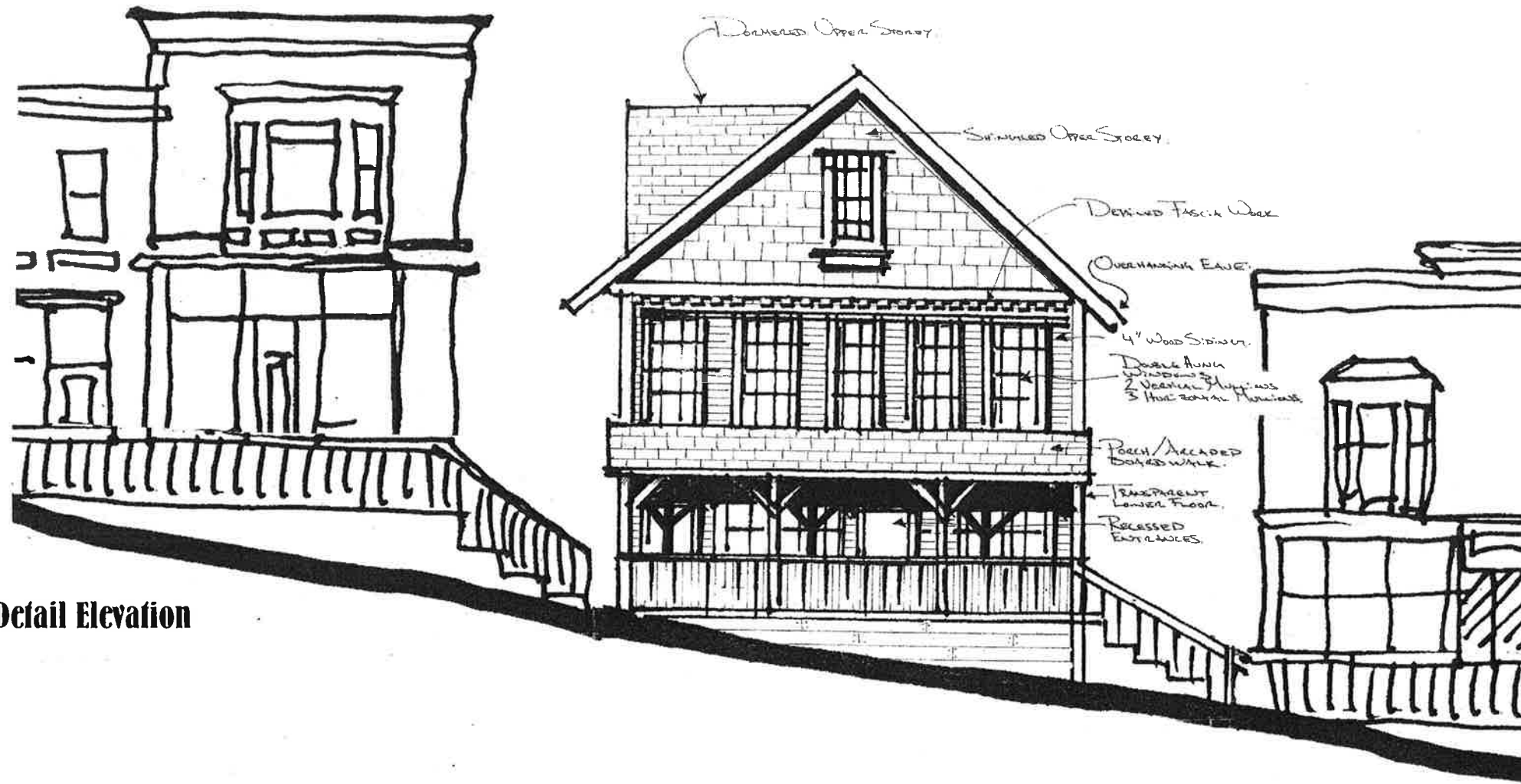
It is apparent that the Nordegg of the future is to be more dense than that of the past. It is a necessity when a town must support a contemporary community with all the amenities it now expects. As well, to make this town economically viable, more businesses and residences must be allowed.

-  Historic Buildings Remaining
- Special conditions exist regarding these remaining historic buildings. Options will be considered on an individual basis.

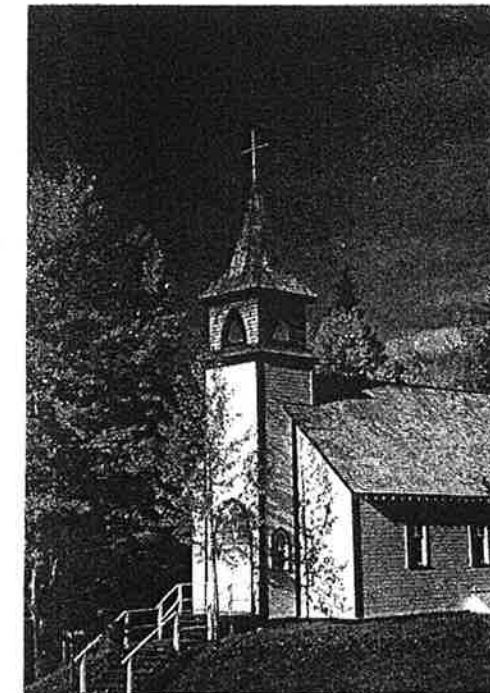


# 4.4 Historic Commercial Core

## General Guidelines

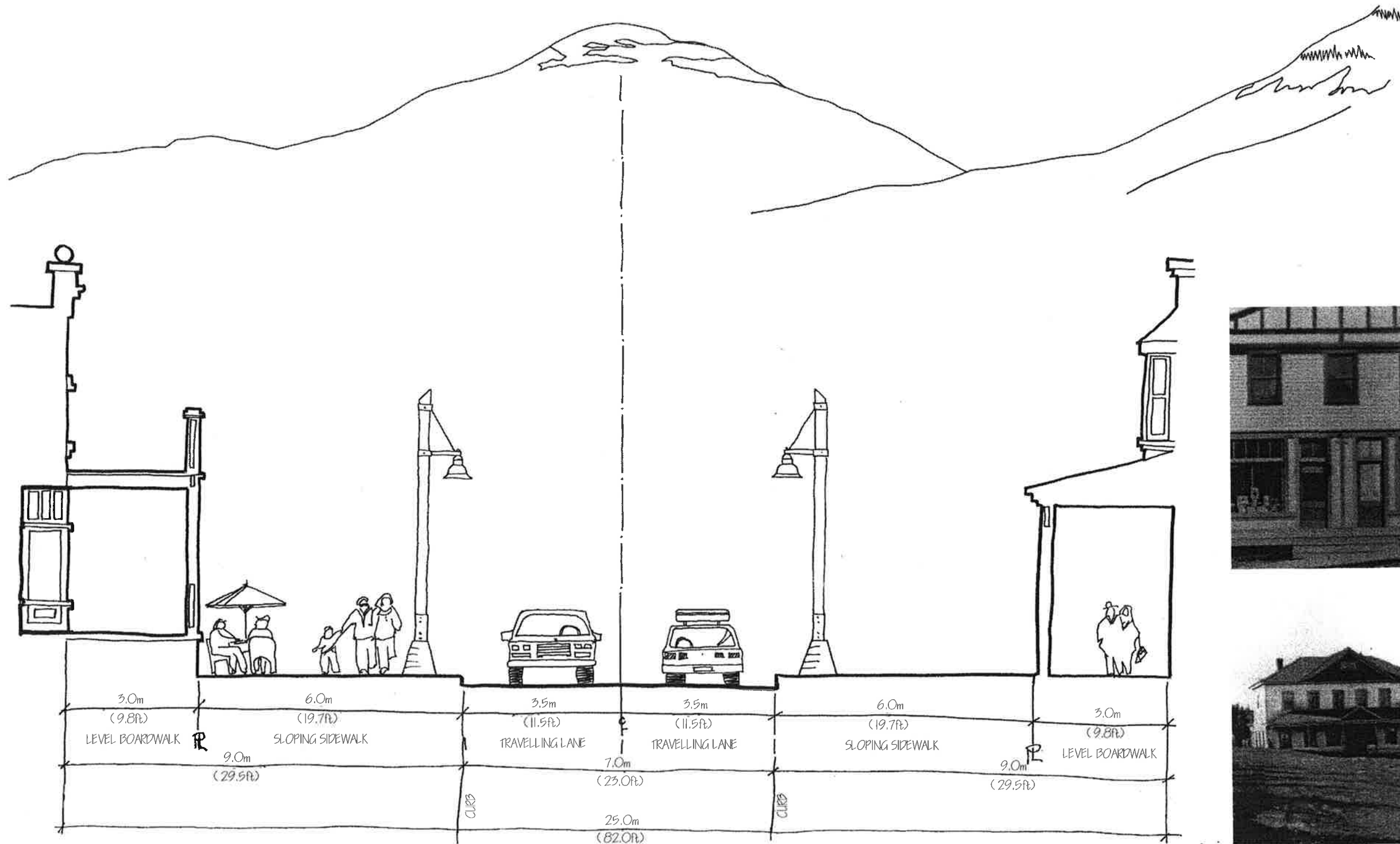
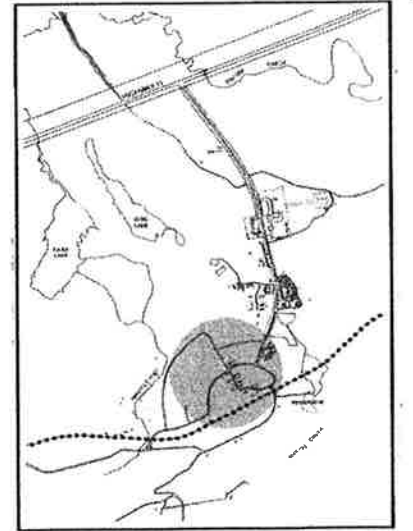


Detail Elevation



# 4.4 Historic Commercial Core

## General Guidelines

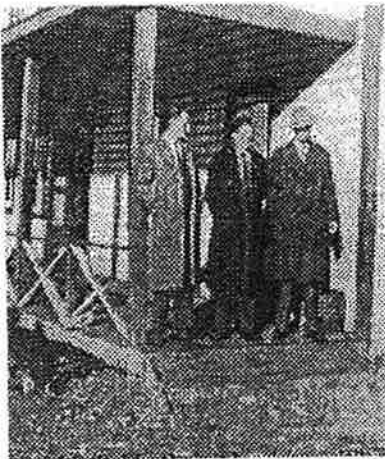
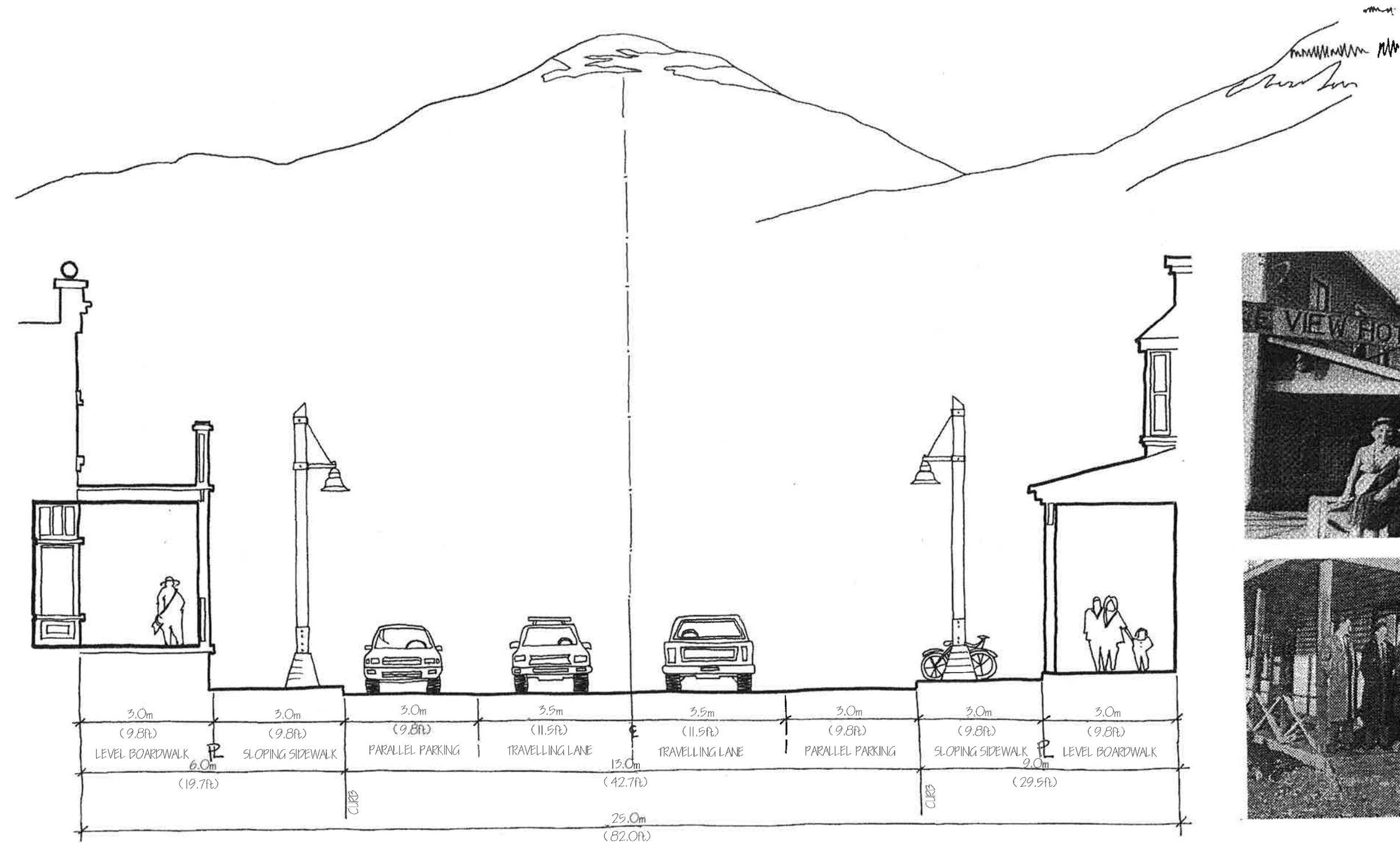
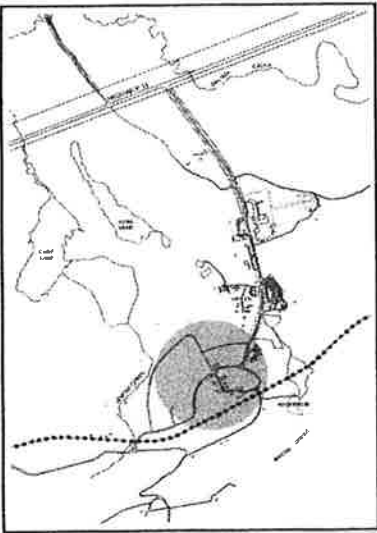


**Centre Street**  
**Two Lanes with Wider Sidewalks**



# 4.4 Historic Commercial Core

## General Guidelines



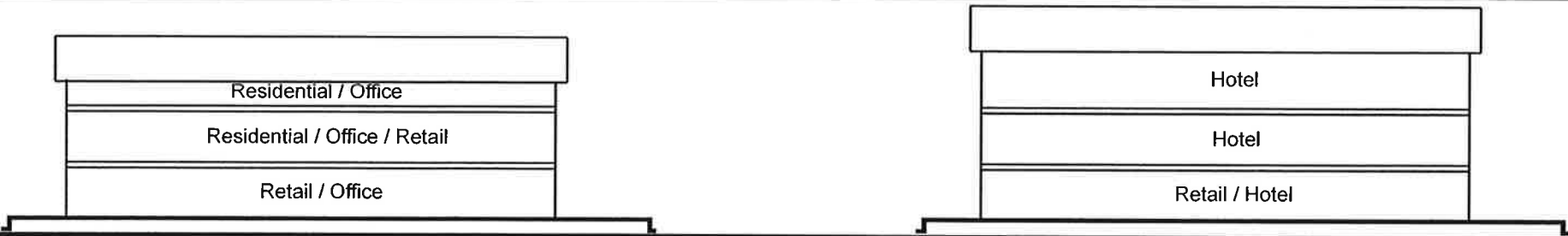
Centre Street  
Two Lanes with Parallel Parking

# 4.4 Historic Commercial Core

## Detail Guidelines - Site Development

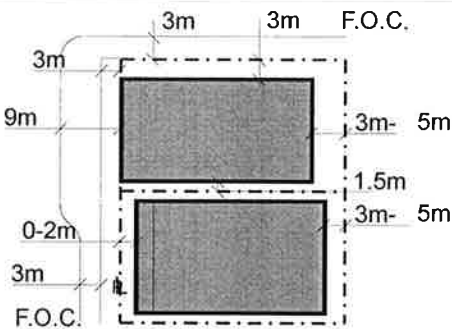
### Building Use

- Uses of the buildings shall be as shown here.
- All garbage container areas shall be screened and placed away from pedestrian usage areas.



### Building Placement

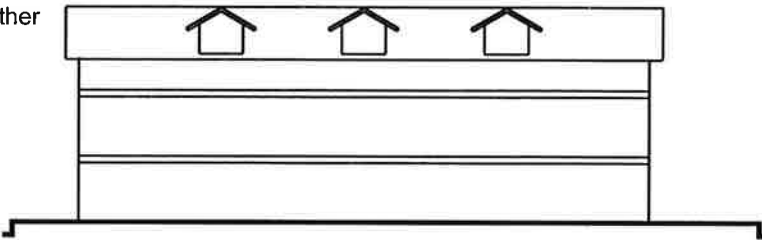
- Buildings shall be set on lots relative to the property lines as shown here except where special build-to-lines are shown on the regulating plan.
- Landmark lighting, signage, and benches shall be located within lower sidewalk area.



### Building Height

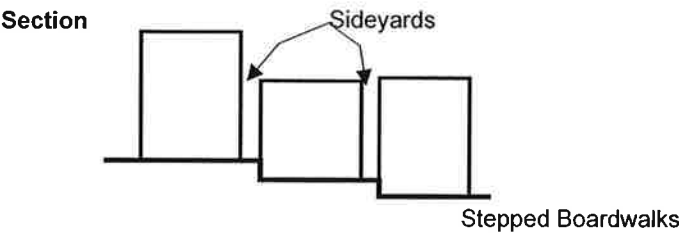
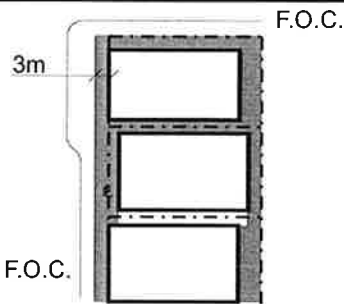
- Heights shall be measured from the lot's average grade elevation to the specified point on the building.
- Minimum and maximum building heights shall be measured in numbers of floors. Each floor is not to exceed 4.5m floor to ceiling.

3 floors max. hotel  
2.5 floors max. other  
1 floor min.



### Permitted Encroachment

- Boardwalks required. Boardwalks must be on front, back, and open sides. Boardwalks are required between every two (2) buildings for pedestrian circulation.
- Consult the regulating plan for specific requirements.



### Parking

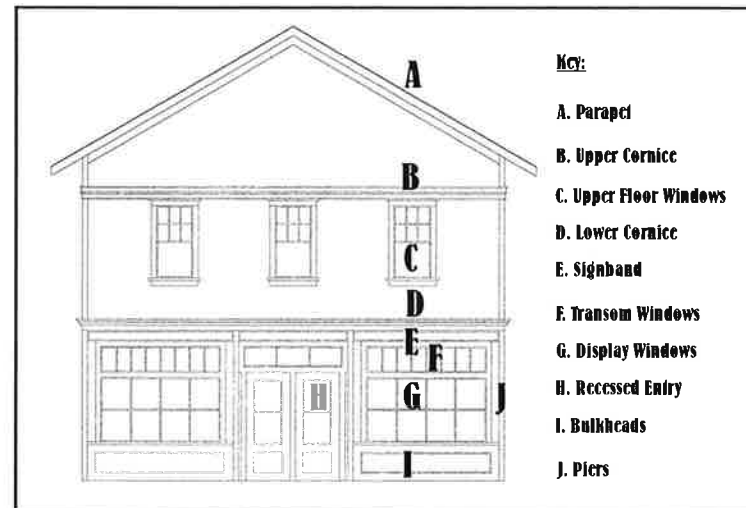
- Parking as designated on Downtown Core Plan
- Developer is to consider providing adequate parking for residential apartments located in Downtown Core.
- Residential and Commercial parking will adhere to Land Use Bylaws.

Parking as designated on Historic Commercial Core - General Guidelines - Downtown Core Plan



# 4.4 Historic Commercial Core

## Detail Guidelines - Buildings

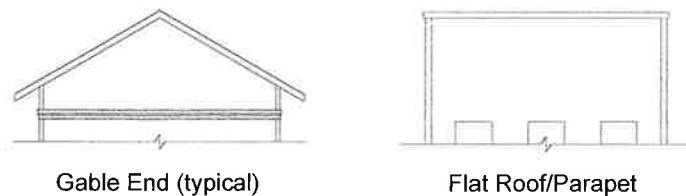


### Roofs:

Roof slopes are typically 7:12 utilizing fire retardant cut wood shingles or asphalt shingles similar to IKO Chateau-Driftwood. Overhangs are to be 2' with rafter tails exposed below the soffit. Any skylights are to be flat. All chimneys are to be masonry. Vent stacks, roof vents, and other mechanical protrusions shall not be visible from the street.

### A. Parapet:

Typically, the building facades are gable end. 15% flat roofs / parapets will be allowed at the discretion of County staff.



### B. Upper Cornice:

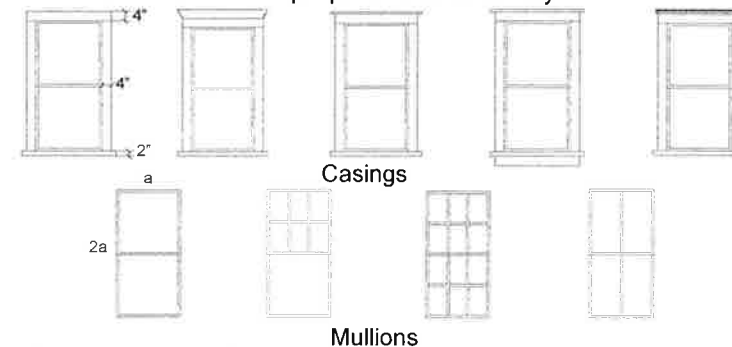
Where allowed, flat roof/parapet shall be capped off in an upper cornice. An upper cornice can separate gable end and rest of upper facade. Appropriate cornice elaborations include;



**Nordegg Design Guidelines**

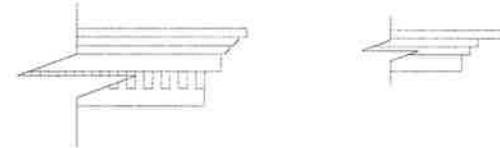
### C. Upper Floor Windows:

Wood or vinyl double-hung windows. All mullions are to be painted wood or white vinyl and be on the exterior of the glazing both inside and outside. Exterior framing is to be painted wood or white vinyl. Windows in groups of 3 or more are encouraged. Either separate or banded. Upper floor windows are to have a proportion of 2a-a only.



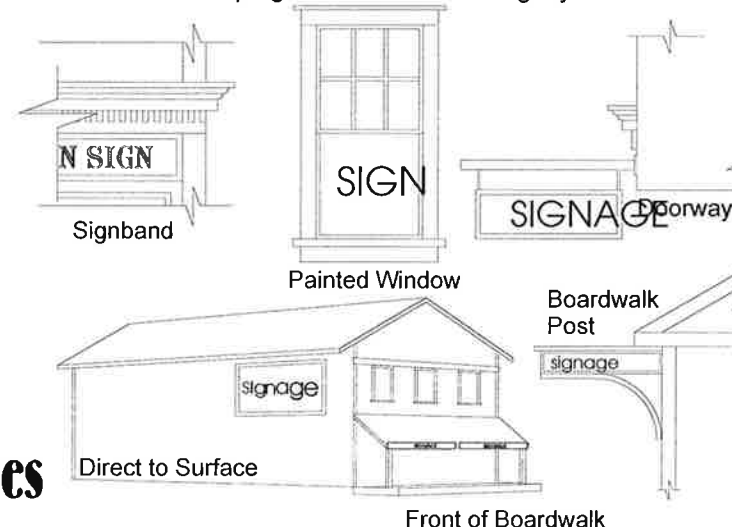
### D. Lower Cornice:

The cornice of the lower facade is the decorative horizontal band normally located just above the storefront windows. It is made up of a series of projecting moldings and brackets that visually delineate the upper edge of the lower facade.



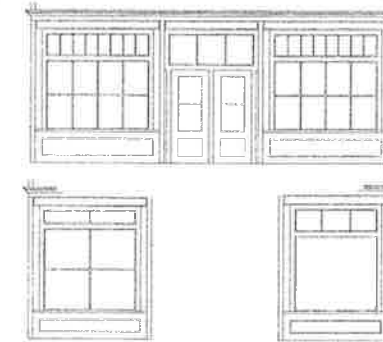
### E. Signband, Signage & Lighting:

Traditionally the signband was the location of the signage of the major tenant. Due to the addition of the boardwalk, other signage alternatives and combinations are recommended for increased visibility. Upper floor tenants may use window signage. All fonts and signage styles are to be in keeping with the historical mining theme. No sign shall be back-lit. It may only be front lit by exterior incandescent sources whose character is in keeping with the surrounding style.



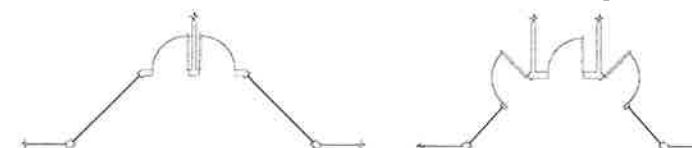
### F.G. Transom & Display Windows:

Transom windows shall be located both above the storefront windows and the recessed entrance. This then fills the space between the signband and the top of the door. They allow a maximum amount of light to penetrate into the building. Display windows shall extend vertically from the bulkheads to the bottom of the transom. Their width shall typically fill the front facade.



### H. Recessed Entry & Doors:

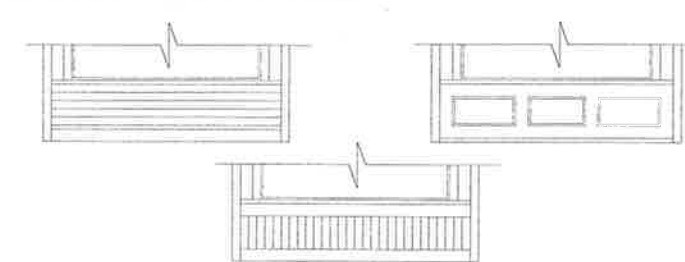
By recessing the doorway, visibility of the display window can be increased, other entrances can be accommodated, and the recess provides an area where the door can swing.



See Residential Buildings guidelines for examples of door types.

### I. Bulkheads:

Bulkheads are the storefront component below the display windows. Bulkheads act as a .6m-1m elevated sill, raising the display area to a more effective viewing height. Constructed of painted wood, highlighted with panels, recesses, and decorative trim, the bulkhead is positioned between projecting upper and lower sills. Bulkheads may be fitted with small windows for basement areas.



### J. Piers:

In this case, piers are to be either 4" or 6" painted vertical boards that serve as an edge to siding at the corners of the building and at recessed areas.

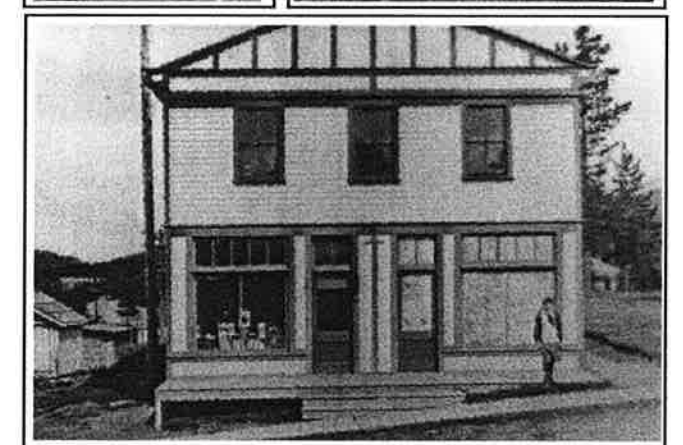
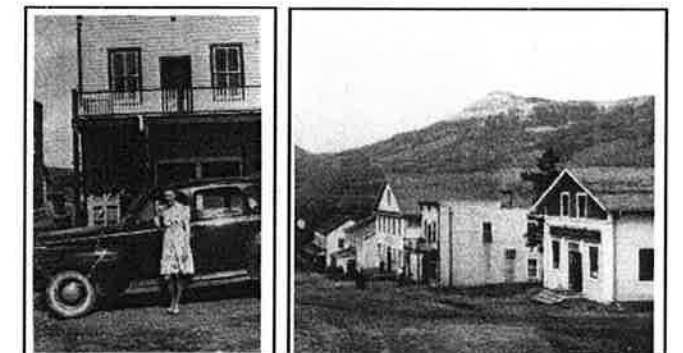
## General:

It is the intention of these guidelines to maintain the spirit of the historical construction which stood in the downtown core circa 1914-1920. The desire is to use very simple building forms and detailing to achieve this effect. Building elevations on all sides tend to be symmetrical and flat, except for recessed entryways. The lower level of the front facade tends to be relatively transparent. The upper facade features a row of vertically oriented windows symmetrically placed. No two buildings are to have similar elevations within the downtown core. Historic buildings which are to remain are to be refurbished to their original state with original materials.

### Siding Materials:

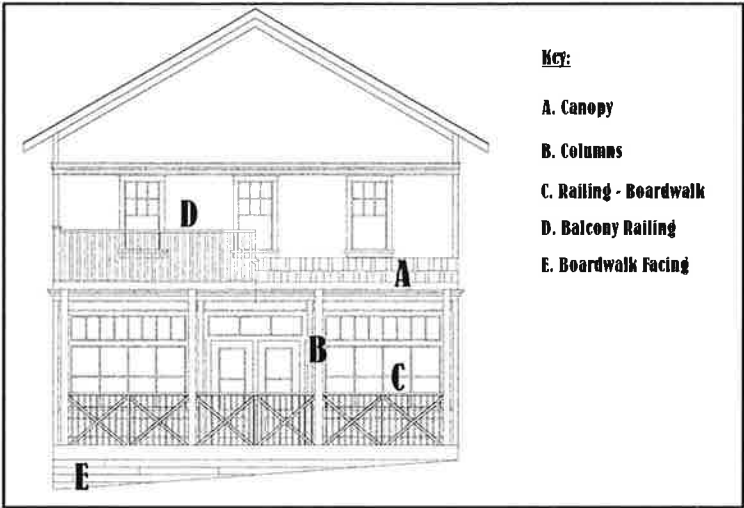
- 4-5" Horizontal Wood Siding - stained/painted - to match colour board - Appendix A
- Upper facades- 4-5" Wood Siding (horizontal or vertical) and painted/stained cut wood shingles or IKO-Driftwood asphalt shingles
- Brick - to match Estevan Brick "Williamsburg"
- Alternative siding materials and treatments may be considered based on a demonstration of appropriateness and compatibility by the applicant, and subject to approval through the Design Review Process. Materials should match the colour board in Appendix A

**Colours:** Colours referenced in Appendix A were arrived at through examination of old photos, a painting of the old town, and from the old buildings which remain on the site.



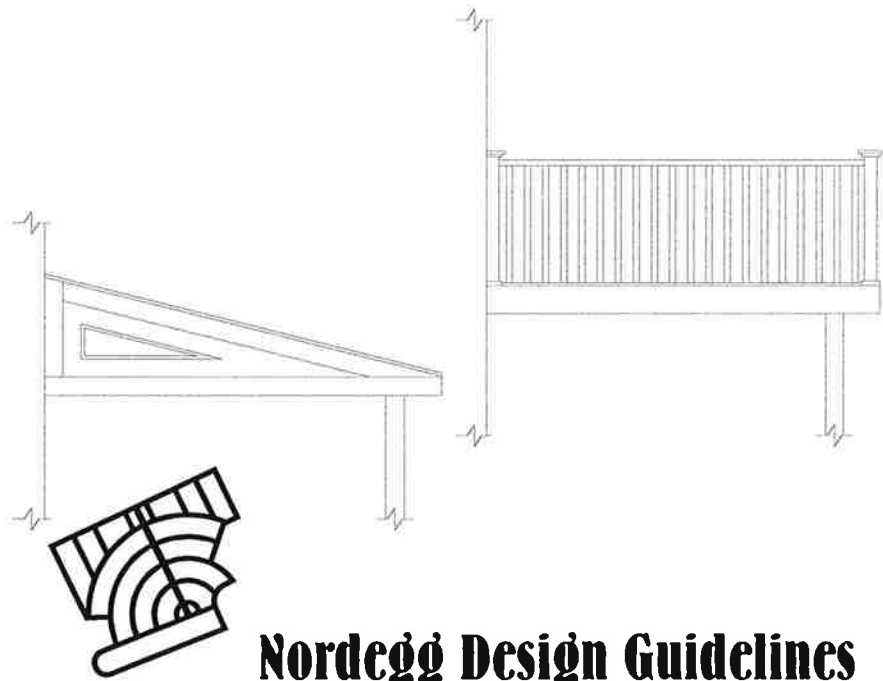
# 4.4 Historic Commercial Core

## Detail Guidelines - Boardwalk



### A. Canopy:

The canopy can be in the form of either a balcony or a sloped porch awning. Both canopies shall overhang their supporting columns by 1'. The slope of the porch awning will be limited to 7:12 to match the roof slopes. The gable end shall be finished in a painted ply. Extra millwork shall be added to match the style of building to which it is attached. The underside of the awning shall be soffited with 4" tongue & groove painted to match building. Lighting shall be provided under canopies either ceiling hung, post mounted, or wall mounted. Lighting levels shall be 10 fc at walking level. The character of lighting is to be designed to balance safety consideration and character.

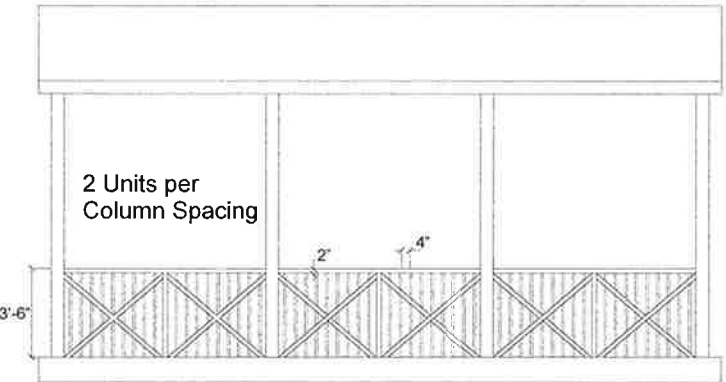


### B. Columns:

Columns shall be 6X6 square posts finished consistently with the rest of the street. Column placing shall be in +/- 15' increments.

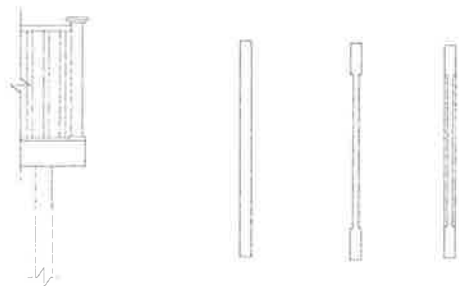
### C. Railing - Boardwalk:

The railing shall have a consistent finish throughout the whole street. The "X" motif of the boardwalk railings are reminiscent of old Nordegg. All diagonal rail members are 2x4 on edge, verticals are to be 2x2. All rails are to meet building code requirements.



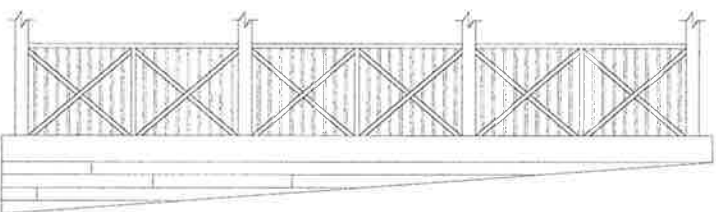
### D. Balcony Railing:

The railing of the balconies shall meet all code requirements. Railing spindals and supporting posts shall have a "square" character with minimal decorative detailing. Posts must have a cap and base of "square" character as well.



### E. Boardwalk Facing:

Rough 2x6 boards placed horizontally, finished consistently with the rest of the street.

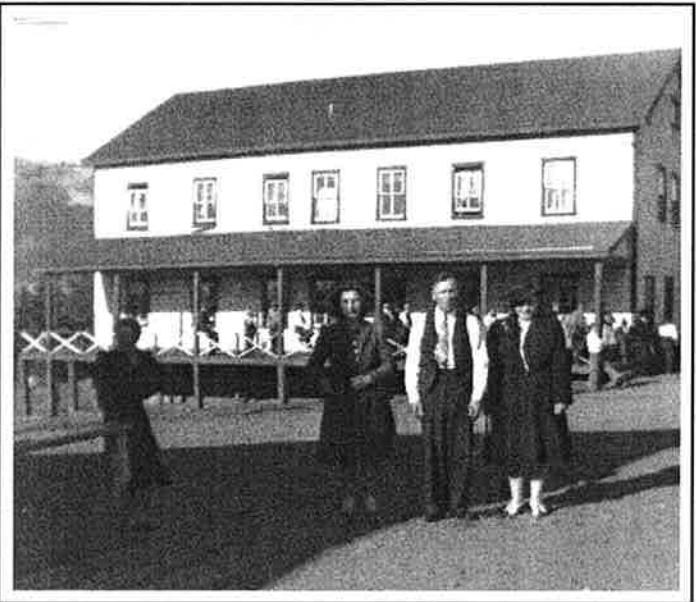
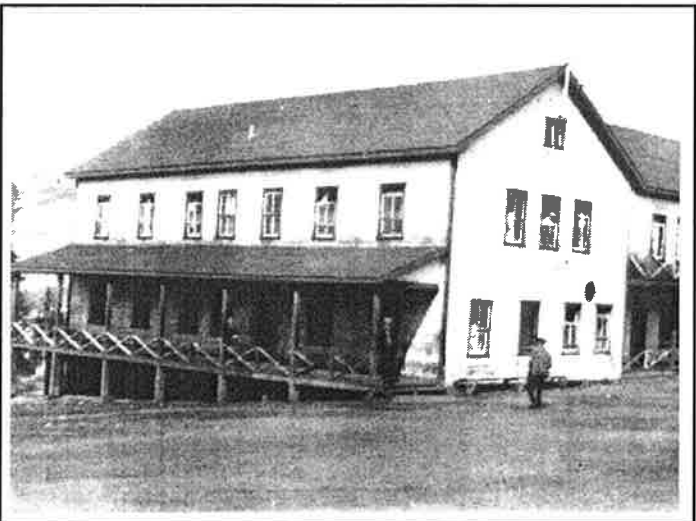


### F. Boardwalk Material:

Boardwalk material to consist of rough cut 2" x 6" boards in keeping with the traditional materials and for safety of footing in wet conditions. Pressure treated timber will be permitted.

### General:

It is the intent to provide a covered boardwalk in front of each building, whether the cover is in the form of a balcony or a wooden porch canopy. Each covering shall be of the same materials and colors as the building it is attached to. Canopy roofing shall be cut wood shingles to match the roofs of the buildings.



# 5.0 Implementation

## 5.1 Design Review

The objective of design review is to create site, building and landscape designs that maintain consistency with Nordegg's historic legacy and natural mountain setting, while conforming to the spirit of the Nordegg Development Plan - Design Guidelines.

A design review will be carried out as part of the Development Permit approval process for the following developments or improvements:

- All new construction and site development.
- All exterior alterations.
- Any alterations to site improvements.
- All public projects and improvements.

## 5.2 Design Review Procedure

- A development permit pre-application meeting between the applicant and municipal staff will, among other things, provide an informal setting to discuss design issues that are relevant to the proposal. Staff will also familiarize the applicant with design evaluation criteria and identify additional information to be submitted with the application.
- Upon receiving a complete development permit application package a design review will be carried out by County staff, with professional advice as determined necessary, in order to determine whether the application appears to conform to the Design Guidelines.
- The design review process is intended to allow for timely communication between both parties with a hope to quickly address and resolve any apparent design deficiencies.
- The individuals who carry out the design review play an advisory role only and would make recommendations to the Development Authority (either the Municipal Planning Commission or the Development Officer) who has the authority to approve an application with conditions, or refuse an application for a development permit.

## 5.3 Design Review Evaluation Criteria

- The review process is structured to permit owners and designers the flexibility to develop site, architectural and landscaping solutions that are appropriate for their property and program. Guidelines have been developed to address the range of design issues, which the municipality wants every project to consider. These guidelines are referred to as evaluation criteria. There are evaluation criteria for the site design, the architectural design, and the landscape design. For any given property, there are many acceptable methods of meeting the evaluation criteria.
- In addition to providing guidance to the applicant on issues that need to be addressed in the design process, the evaluation criteria will establish the basis for the design review of a project. In order to make a recommendation for approval of the project to the Development Authority, the design review must reveal that all applicable evaluation criteria have been met.
- When considering the approval of an application for a development permit the Development Authority must, among other things, be satisfied that the proposed development maintains consistency with Nordegg's historic legacy and natural mountain setting, while conforming to the spirit of the Nordegg Development Plan-Design Guidelines.
- The Design Review Checklist is to be utilized by the applicant and the County in evaluating the proposed development in regard to design.



Nordegg Development Permit Application Design Review Checklist

Development Permit No.:  
Date:  
Owner: Phone:  
Address:  
Consultant: Phone:  
Address:  
Contractor: Phone:  
Address:  
Project Location:  
Legal Description:  
Land Use:

This Design Review portion of the application will be considered complete when all of the following have been submitted:

- Drawings at a scale sufficiently large enough to enable all features of the project to be clearly reviewed.
- Site Analysis Drawing: legal description, legal survey of property lines, survey locations of existing trees and landscape features, survey of existing topography at 0.5m contour intervals, adjacent existing or proposed developments, all other features affecting site development.
- Site Photographs: of existing site and adjacent sites.
- Site Development Plan: location of all proposed buildings, existing trees and structures to be retained, proposed hard surfaces, proposed vehicle and pedestrian circulation, all dimensions and setbacks, service and mechanical areas, sign locations.
- Site Grading Plan: existing and proposed contours at 0.5m interval, spot elevations, percentage of slopes on all hard and soft surfaces, retaining walls, surface drainage.
- Landscape Plan: size, species and locations of all plant locations of all plant materials to be retained or proposed, method of irrigation, location and design of all hard surfaces and related features, location and type of exterior lighting, screening of service and mechanical equipment.
- Architectural Floor Plans: of all building levels.
- Architectural Building Elevations: of all building sides, indicating all exterior building materials, colours.
- Perspective Sketch: of the most prominent view for all projects other than single family house application.
- Architectural Model: a massing model to scale of the proposed development and adjacent properties may be required for larger projects.
- Design Statement: in a written and/or visual form, describing how the project enhances the character of Nordegg and adheres to the spirit of the design guidelines.

Planning Review

Land Use Compliance: ☐ Compliant ☐ Non-Compliant  
By-Law Compliance: ☐ Compliant ☐ Non-Compliant  
Outstanding Issues:  
Planning Review Officer:

Design Review

The following headings are intended to be a guideline for evaluating a project design.

	Acceptable	Unacceptable	Needs Work	Comments
Landmark				
Preservation of Existing Features:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Visual Impact:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Site Design:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Site Grading:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Pedestrian Environment:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Vehicular Circulation:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Parking:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape Design:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Signage:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Lighting:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Site Furnishings:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Architectural				
Building Form:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Roof - Material:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Roof - Slope:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Doors:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Building Signage:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Building Lighting:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Boardwalk Facing:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Boardwalk Railings:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Parapet:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Upper Cornice:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Lower Cornice:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Bulkheads:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Porch and Balcony Railings:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dormers:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Garage doors:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Picket Fence:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Building Materials:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Colour:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
General Summary				
Historical Connectivity:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Diversity:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Craftsmanship:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Village Community:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Comments:

# Appendix A

## Material and Colour Board

### Arterial Area

Colors are to match the following Pratt and Lambert:

- 1046 Beetroot- main/accent
- 1015 Cranapple- main/accent
- 1125 Black Orchid- main/accent
- 2224 Graphite- main/accent
- 2284 Durango- main/accent
- 2332 Purple Night- main/accent
- 2295 Brevity- main/accent

### Historic Residential Areas

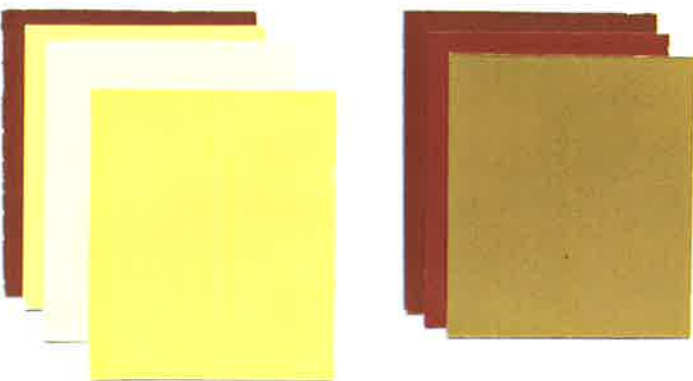
Colors are to match the following Pratt and Lambert:

- 2129 Sesame- main/accent
- 1708 Golden Fleece- main/accent
- 1706 Eggnog- main/accent
- 1707 Creme- main/accent
- 2317 Gentry Gray- main
- 2103 Elk Tan- accent
- 2324 Confederate- accent
- 2295 Brevity- main/accent
- 2316 Hearthstone- main/accent
- 2297 Windham- main/accent

### Historic Commercial Core

Colors are to match the following Pratt and Lambert:

- 2100 Vanilla- main
- 1289 Windsor Blue- accent
- 1222 Old World- accent
- 2100 Vanilla- main
- 1337 Wharf Green- accent
- 1338 Leafy Bower- accent
- 2127 Snoflake- main/accent
- 2100 Vanilla- main/accent
- 2128 Pastry- main/accent
- 2103 Elk Tan- accent
- 2100 Vanilla- main/accent
- 1707 Creme- accent
- 1708 Golden Fleece- main/accent
- 2071 Suntan- accent
- 2103 Elk Tan- main
- 2077 Koala- accent
- 2071 Suntan- accent



### Suggested Signage Fonts

The following fonts are suggested fonts. Other fonts will be considered if they follow a similar aesthetic as the ones illustrated below:

**Bernhard BdCn BT**

**CHISEL**

**CLARENDON BLK**

**GEO SLAB**

**GOLDMINE**

**OLDTOWNE**

**POSTER BODONI**

**PLAYBILL**

### Roofing Materials

**Arterial Area** - Materials are to be fire retardant cut wood shingles, unfinished galvanized metal standing seam, or asphalt shingles similar to IKO Chateau-Driftwood.

**Historic Residential Area** - Materials are to be fire retardant cut wood shingles or asphalt shingles similar to IKO Chateau-Driftwood.

**Historic Commercial Core** - Materials are to be fire retardant cut wood shingles or asphalt shingles similar to IKO Chateau-Driftwood.

An example of the IKO Chateau-Driftwood Asphalt Shingle is shown below:

